



# Royal Rose Court

Rejuvenation of the Historical Owen Sound Courthouse & Jail

1235 & 1259 3rd Avenue East  
Owen Sound, ON N4K 2L6

FC Entertainment & Hospitality Inc.

2023-04-20

## OPA/ZBA Application

Issued for OPA/ZBA - Submission 1

Project # 22.0056.00



**FC ENTERTAINMENT & HOSPITALITY INC.**

2066 Avenue Road, 2nd Floor  
Toronto, ON M5M 4A6

info@fchospitality.ca  
www.fchospitality.ca



**THE PLANNING PARTNERSHIP**

1255 Bay Street, Suite 500  
Toronto, ON M5R 2A9

info@planpart.ca  
www.planpart.ca

### ARCHITECTURE

Sheet Number	Sheet Name
AP-001	SITE PLAN
AA-101	EXISTING & DEMO DRAWINGS - BASEMENT
AA-102	EXISTING & DEMO DRAWINGS - LEVEL 1
AA-103	EXISTING & DEMO DRAWINGS - LEVEL 2
AA-104	EXISTING & DEMO DRAWINGS - LEVEL 3
AA-105	EXISTING & DEMO ELEVATIONS
AA-106	EXISTING & DEMO ELEVATIONS
AA-107	EXISTING & DEMO ELEVATIONS
AP-101	PROPOSED FLOOR PLAN - BASEMENT
AP-102	PROPOSED FLOOR PLAN - LEVEL 1
AP-103	PROPOSED FLOOR PLAN - LEVEL 2
AP-104	PROPOSED FLOOR PLAN - LEVEL 3
AP-105	PROPOSED FLOOR PLAN - ROOF
AE-101	BUILDING ELEVATIONS
AE-102	BUILDING ELEVATIONS

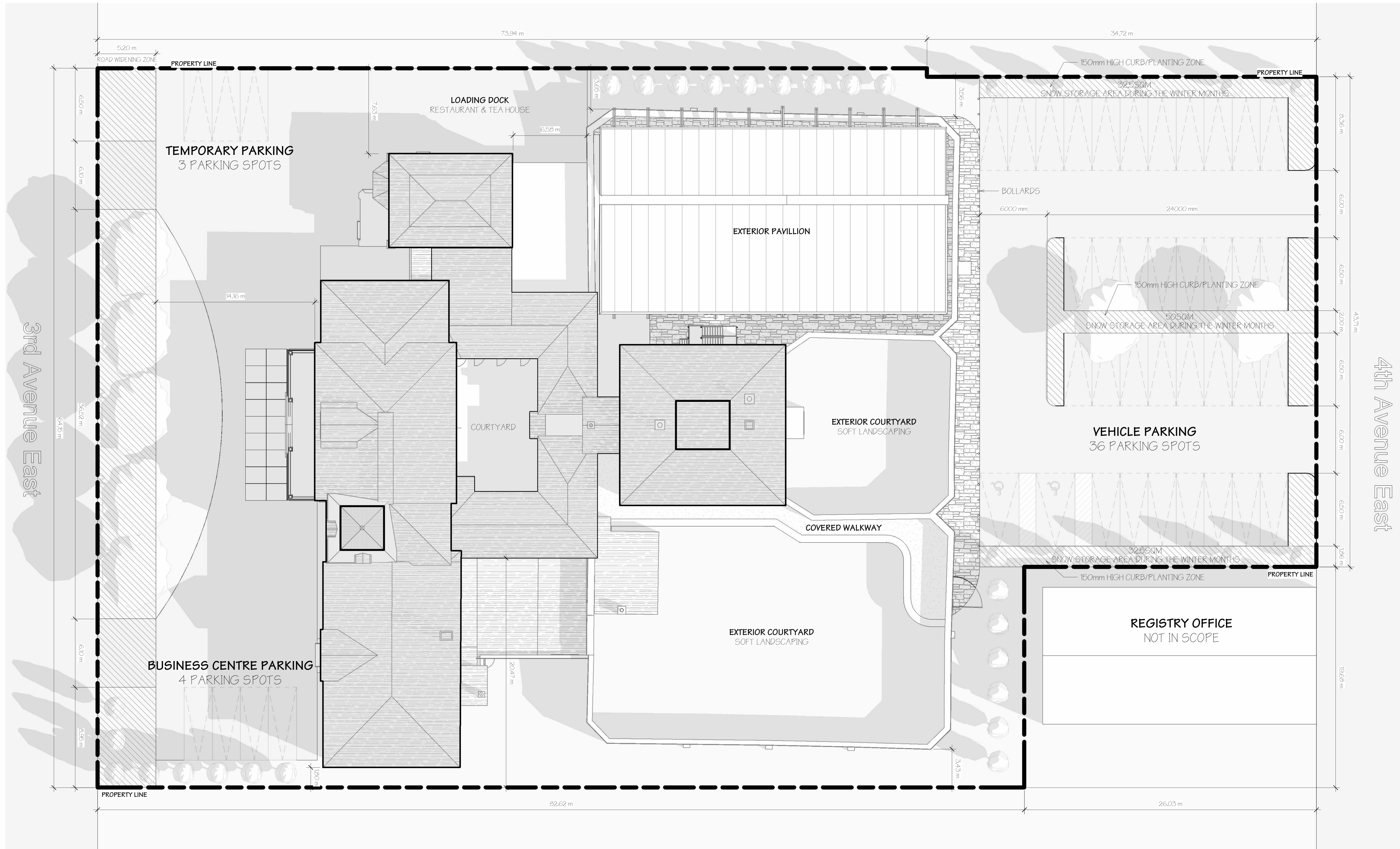


ZONING DESIGNATION: EXISTING ZONING: Institutional  
 LEGAL DESCRIPTION: PROPOSED ZONING: Mixed Use Commercial  
 PROPERTY ADDRESS: LOTS 15 & 16 EAST OF BAY ST & LOTS 15 & 16 WEST OF HILL ST  
 1234 & 1259 3rd AVENUE EAST, OWEN SOUND, ONTARIO

OWNERSHIP: FC Hospitality & Entertainment Inc.

SITE SPECIFICS	EXISTING	PROPOSED
Building Use	Vacant	Mixed-Use Commercial
Lot Area	6434.26 sq.m	No Change
Lot Coverage	21.00 %	20.5 %
GFA	1985 sq.m	2050 sq.m
Front Yard Setback	4.16 m	No Change
Side Yard Setback (N)	3.55 m	No Change
Side Yard Setback (S)	1.8 m	No Change
Rear Yard Setback	31.39 m	No Change
Landscaped Surface	54 %	33.5 %

INFORMATION TAKEN FROM PLAN OF SURVEY



1. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF BOLDERA ARCHITECTS INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFIC PURPOSES OF CHAIRING. ANY REUSE OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF BOLDERA ARCHITECTS INC. IS STRICTLY PROHIBITED.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACQUISITION OF ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECTURE DEPARTMENT AND THE MUNICIPALITY OF OWEN SOUND. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACQUISITION OF ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECTURE DEPARTMENT AND THE MUNICIPALITY OF OWEN SOUND.  
 3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL BE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THE WORK.  
 4. DIMENSIONS ARE NOT TO SCALE FOR CONSTRUCTION.  
 5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE PERFORMING THE WORK AND REPORT AND DISCUSS ANY DISCREPANCIES WITH THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.  
 6. THE DRAWING AND THIS SET OF CONSTRUCTION AND SPECIFICATIONS ARE THE ARCHITECT'S PROPERTY AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE DOCUMENTS.  
 7. PORTIONS OF EXISTING FINISHED MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND PIPING ARE INDICATED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND PIPING BEFORE COMMENCING OR CONTINUING WITH ANY WORK. THESE ITEMS ARE TO BE PROTECTED AND NOT TO BE DAMAGED OR REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE ITEMS.  
 8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND PLANNING ACT AND REGULATIONS AND ALL APPLICABLE BY-LAWS AND ORDINANCES OF THE MUNICIPALITY OF OWEN SOUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECTURE DEPARTMENT AND THE MUNICIPALITY OF OWEN SOUND.  
 9. ALL CONTRACTORS AND SUBCONTRACTORS MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECTURE DEPARTMENT AND THE MUNICIPALITY OF OWEN SOUND BEFORE COMMENCING OR CONTINUING WITH ANY WORK.  
 10. BOLDERA ARCHITECTS INC.

No.	Description	Date
01	Issued for Pre-Consultation Meeting	2023-10-14
02	Issued for Client Review	2023-12-09
03	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
 Rethinking the future of architecture, sustainably.  
 Boldera Architects Inc.  
 62 Westmount Avenue  
 Toronto, Ontario M6H 5K1  
 Phone: 647 799 9518  
 Email: info@boldera.ca  
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FC Entertainment & Hospitality Inc.  
**Royal Rose Court**  
 1235 & 1259 3rd Avenue East  
 Owen Sound, ON N4K 2J6

OPAZBA Application	Date
22.0006.00	2023-04-20

Project Number: 22.0006.00 | Scale: 1:128  
 Drawn by: ER | Checked by: ER

**AP-001**

NOT FOR CONSTRUCTION



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2. THIS CONTRACT IS VALID FOR THE PROJECT OF BOLDERA ARCHITECTS INC. THE ARCHITECT IS NOT RESPONSIBLE FOR THE IMPLEMENTATION OF THESE DOCUMENTS BY THE CONTRACTOR OR ANY OTHER PARTY. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING PERMITS OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS.

3. IF CONTRACTOR ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT WILL REVIEW AND APPROVE ALL WORK SUBMITTED BY THE CONTRACTOR FOR THESE CONTRACT DOCUMENTS.

4. DIMENSIONS ARE NOT TO BE SCALED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT AND DISCLOSE ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION AND SHOULD BE REVIEWED BY THE ARCHITECT.

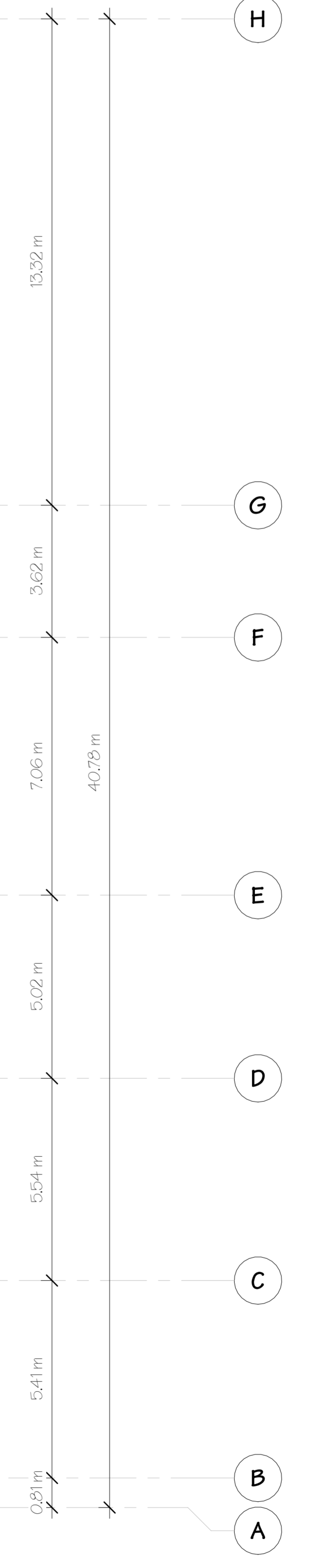
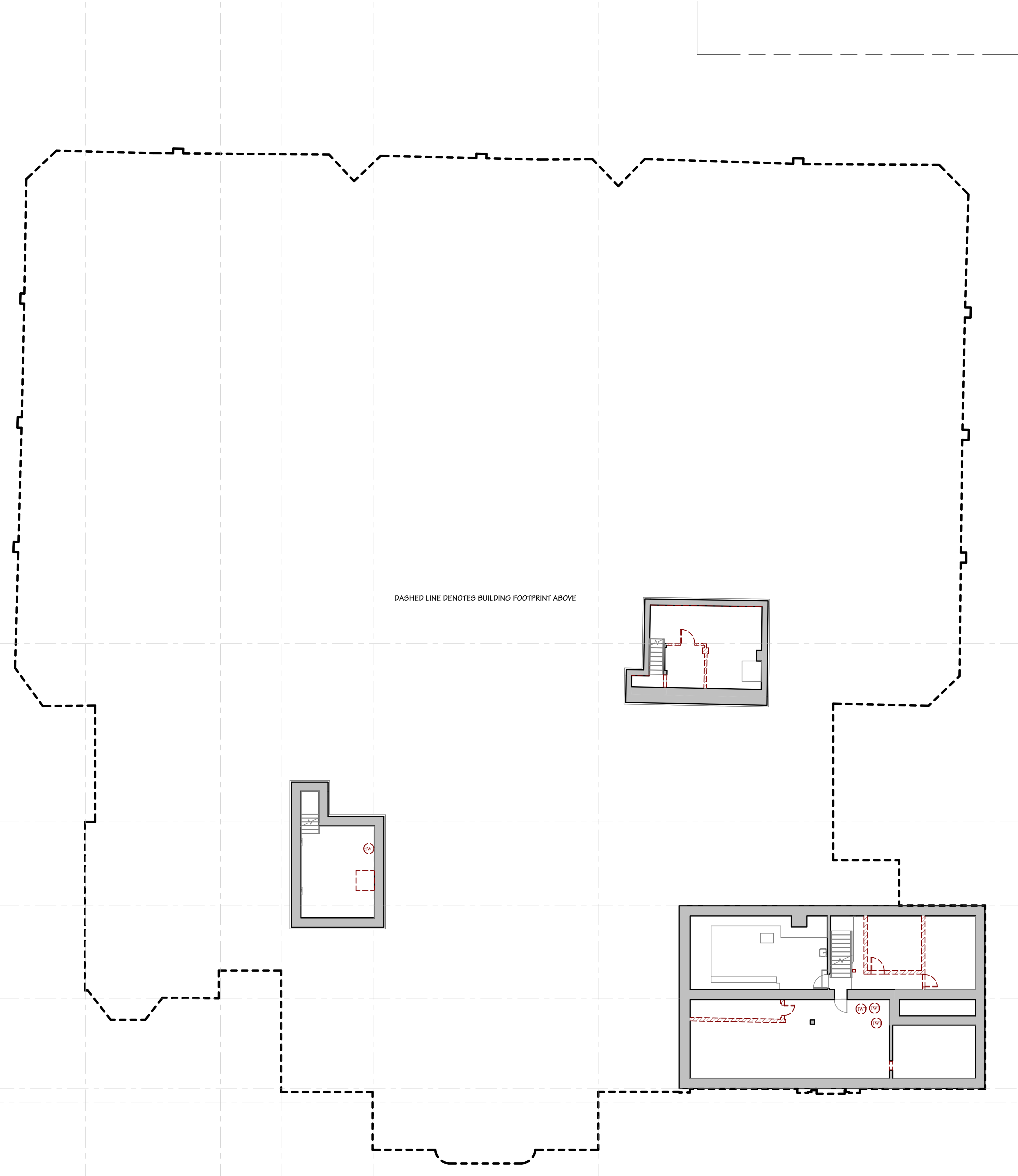
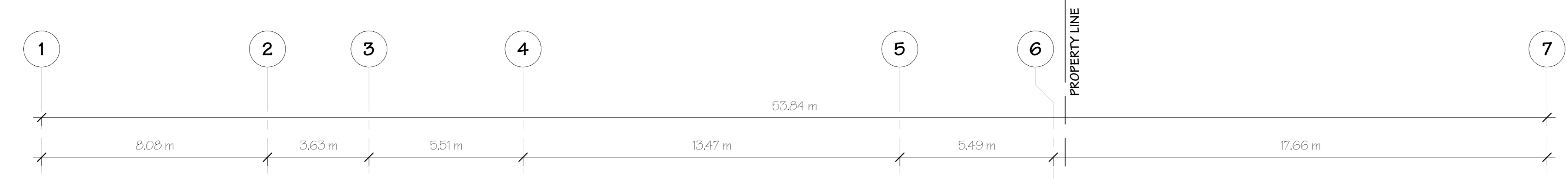
7. POSITIONS OF EXISTING FINISHED MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED ON THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. THESE ITEMS ARE TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED BY BOLDERA ARCHITECTS INC.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES. ALL PLUMBING AND MECHANICAL WORK TO CONFORM TO CURRENT ONTARIO REGULATIONS AND ALL ELECTRICAL WORK TO CONFORM TO CURRENT ONTARIO ELECTRICAL SAFETY CODE AS AMENDED.

9. ALL CONTRACTORS OR SUBCONTRACTORS MUST SAFETY THROUGHOUT AND WEAR SAFETY AND AT ALL TIMES ENSURE THAT THEY CAN SAFELY CONDUCT THE WORK REPRESENTED BY THESE DRAWINGS.

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PROPERTY LINE



Legend:

- DEMOLITION
- EXISTING CONSTRUCTION

Revision Schedule

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1	Issued for Pre-Consultation Meeting	2022-10-14
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Cherry Square, ON M6K 2J6

EXISTING & DEMO DRAWINGS - BASEMENT

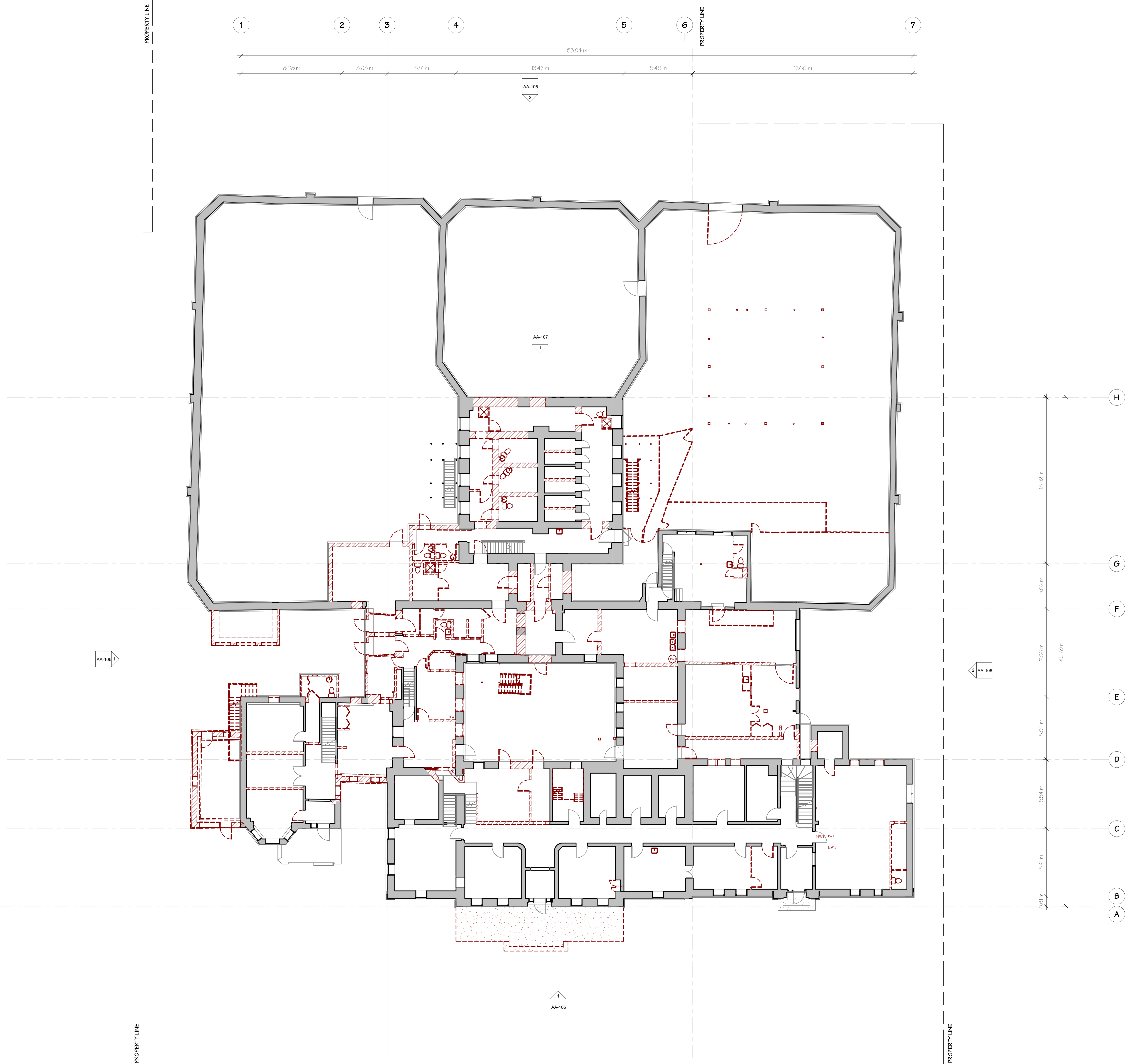
OPAZBA Application	Date
	2022-12-09

Project Number	Scale
22.0006.00	1 : 100

Drawn by	Checked by
ER	ER

NOT FOR CONSTRUCTION

**AA-101**



1. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF BOLDERA ARCHITECTS INC. AND SHALL REMAIN THE PROPERTY OF BOLDERA ARCHITECTS INC. WITHOUT LIMITATION OF REMEDY. NO PART OF THESE DOCUMENTS MAY BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE EXISTING CONDITIONS OF THE PROJECT OR FOR ANY UNEXPECTED CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS.

4. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION AND SHOULD BE USED BY THE ARCHITECT.

7. POSITIONS OF EXPOSED FINISH MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED ON THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FROM THE ARCHITECTURAL DRAWINGS COVERED UNDER THE MECHANICAL AND ELECTRICAL CONTRACTS. THESE POSITIONS MAY VARY FROM THE POSITIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL VERIFY THE POSITIONS OF ALL DEVICES, FITTINGS, AND FIXTURES PRIOR TO COMMENCEMENT OF WORK.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

9. ALL CONTRACTORS OF SUBCONTRACTORS MUST SAFELY THROUGHOUT THE WORKING AND AT ALL TIMES MAINTAIN THE SAFETY OF THE WORKING AREA AND THE SURROUNDING AREAS.

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**Revision Schedule**

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1	Issued for Pre-Construction Meeting	2023-10-14
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**Boldera Architects**  
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FC Entertainment & Hospitality Inc.  
**Royal Rose Court**  
 1235 & 1259 3rd Avenue East  
 Queen Square, ON M6K 2J5

**EXISTING & DEMO DRAWINGS - LEVEL 1**

OPAZBA Application	Date
	2023-04-20

Project Number	Scale
22.0006.00	1 : 100

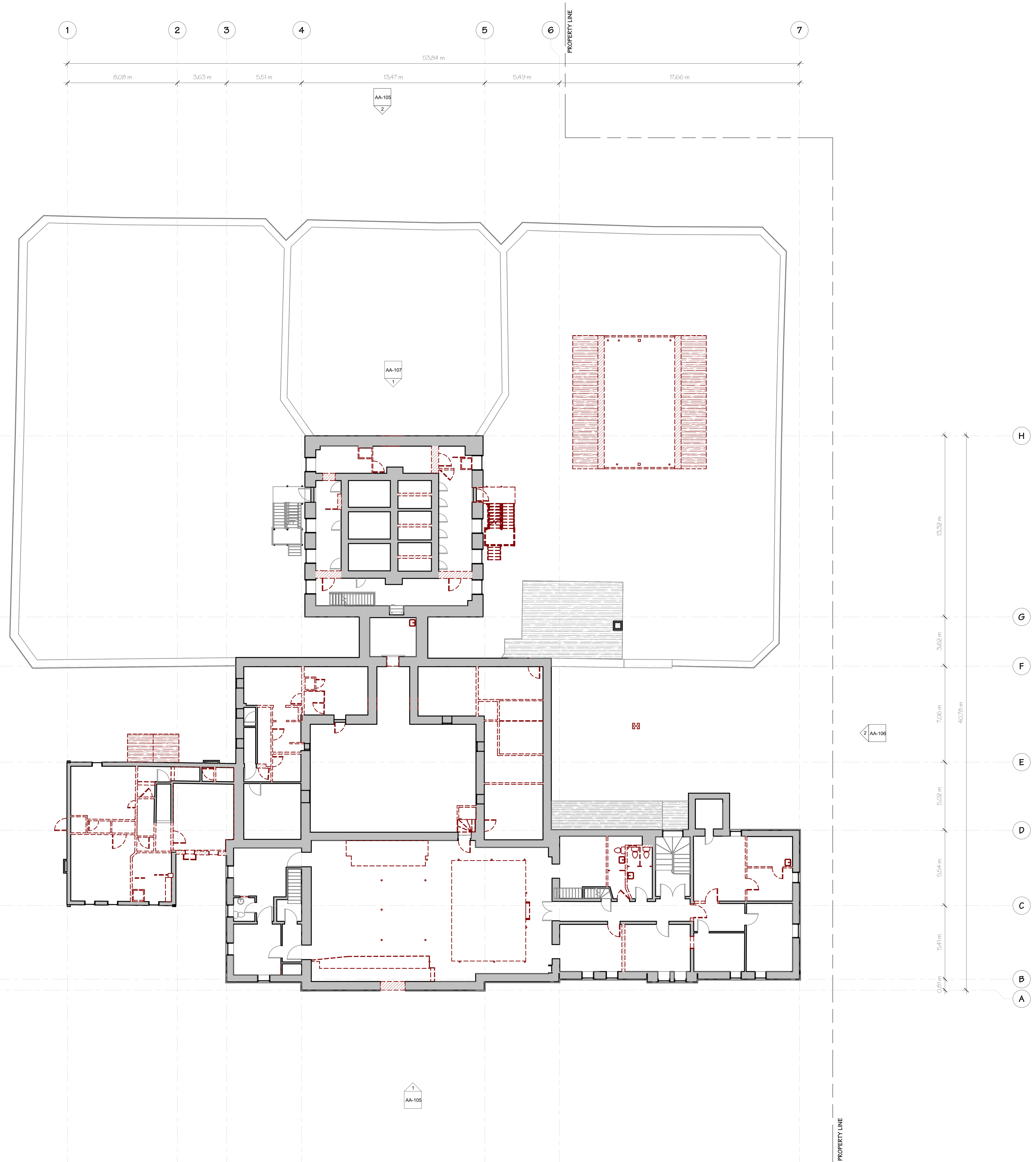
Drawn by	Checked by
ER	ER

**AA-102**

NOT FOR CONSTRUCTION



PROPERTY LINE



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2. THIS CONTRACT IS VALID FOR THE PROJECT OF BOLDERA ARCHITECTS INC. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE PROJECT'S SUCCESS OR FAILURE. QUANTIFICATION OR SUPPLEMENTARY INFORMATION REQUIRED BY THE INTENT OF THE CONTRACT DOCUMENTS.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL BE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THE WORK.

4. DIMENSIONS ARE NOT TO BE SCALED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE PERFORMING THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT.

7. POSITIONS OF EXPOSED FINISHES, MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED ON THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THESE FINISHES AND DEVICES SHALL BE COORDINATED BY BOLDERA ARCHITECTS INC.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES. ALL PLUMBING AND MECHANICAL WORK TO COMPLY WITH CANADIAN STANDARDS ASSOCIATION (CSA) STANDARDS AND ALL ELECTRICAL WORK TO COMPLY WITH CANADIAN ELECTRICAL CODE (CEC) AS AMENDED.

9. ALL CONTRACTORS OF SUBCONTRACTORS MUST SAFETY THROUGHOUT THE WORKING AND AT ALL TIMES ENSURE THAT THEY CAN SAFELY CONDUCT THE WORK REPRESENTED BY THESE DRAWINGS.

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 1235 & 1239 3rd Avenue East  
 Queen Square, ON M6K 2J6

**EXISTING & DEMO DRAWINGS - LEVEL 2**

OPAZBA Application	Date
	2023-04-20

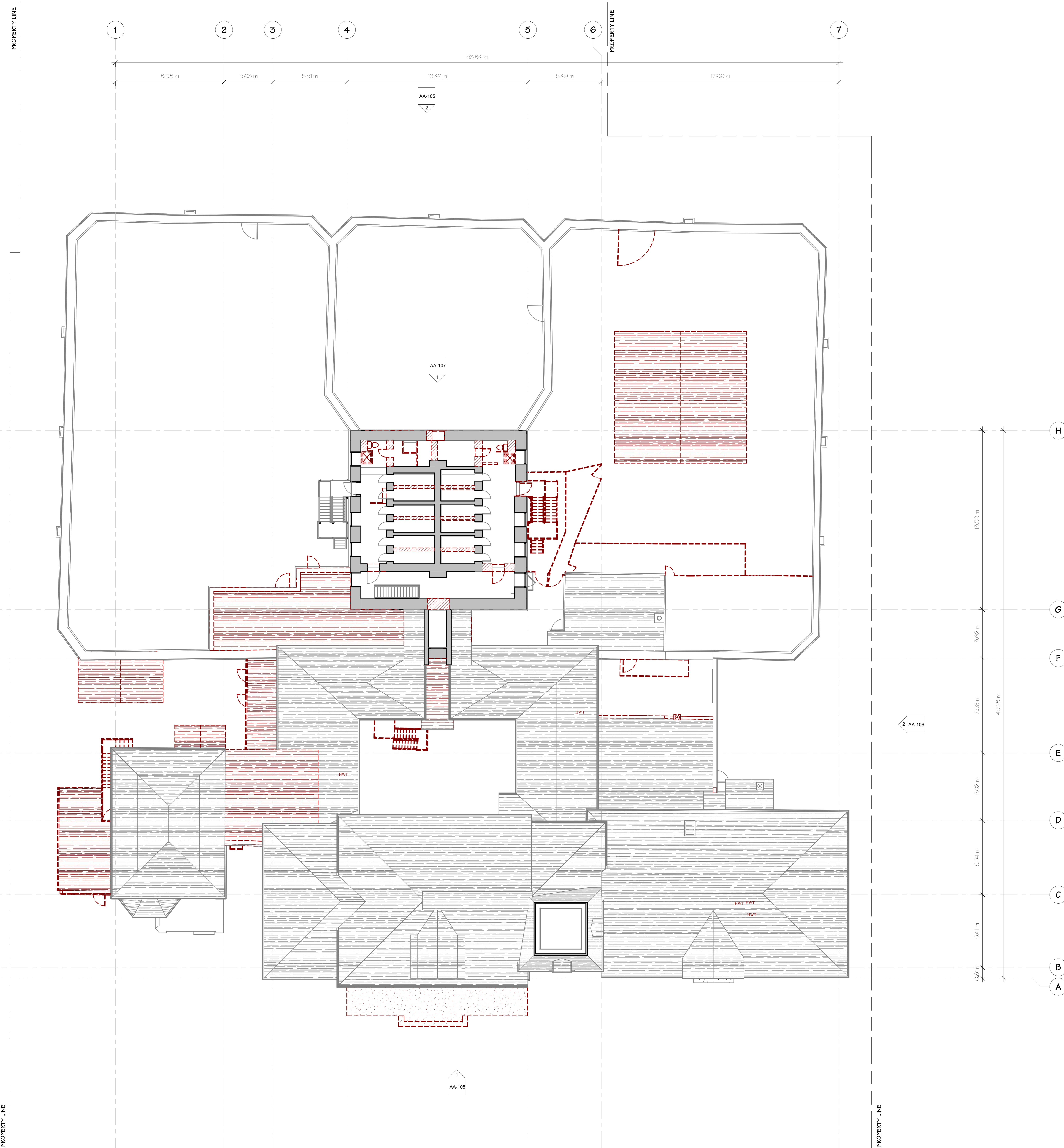
Project Number	Scale
22.0006.00	1 : 100

Drawn by	Checked by
ER	ER

**AA-103**

NOT FOR CONSTRUCTION





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2. THIS CONTRACT IS VALID FOR THE PROJECT OF BOLDERA ARCHITECTS INC. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL BE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THE WORK AND REPORTING ANY DEFICIENCIES TO THE CONTRACTOR FOR CORRECTION.

4. DIMENSIONS ARE NOT TO BE SCALED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING AND THE WORK THEREON SHALL BE THE PROPERTY OF BOLDERA ARCHITECTS INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

7. POSITIONS OF EXISTING MECHANICAL AND ELECTRICAL DEVICES, FITTINGS AND PIPING ARE INDICATED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL SUCH DEVICES, FITTINGS AND PIPING BEFORE COMMENCING WORK. ANY CHANGES TO THE LOCATION OR CONDITION OF SUCH DEVICES, FITTINGS AND PIPING SHALL BE APPROVED BY THE ARCHITECT BEFORE COMMENCING WORK.

8. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

9. ALL CONTRACTORS OF SUBCONTRACTORS MUST SATISFY THROUGHOUT THE WORKING AND AT ALL TIMES REQUIRE THAT THEY CAN BE CONTACTED THROUGHOUT THE WORKING PERIOD BY THESE MEANS:

10. BOLDERA ARCHITECTS INC.

**Legend**

DEMOLITION

EXISTING CONSTRUCTION

**Revision Schedule**

No.	Description	Date
1	Issued for Pre-Consultation Meeting	2022-10-14
2	Issued for Client Review	2022-12-09

**Boldera Architects**  
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Web: boldera.ca

FC Entertainment & Hospitality Inc.  
**Royal Rose Court**  
1235 & 1295 3rd Avenue East  
Owen Sound, ON N4K 2J5

**EXISTING & DEMO DRAWINGS - LEVEL 3**

OPAZBA Application	Date
	2022-12-09

Project Number: 22.0006.00 Scale: 1:100  
Drawn by: ER Checked by: ER

**AA-104**

NOT FOR CONSTRUCTION



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2. THIS CONTRACT IS MADE BY THE ARCHITECT AND BOLDERA ARCHITECTS INC. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR OMISSIONS BY THE CONTRACTOR.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL BE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THESE DOCUMENTS.

4. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

6. THE DRAWING MUST BE USED FOR CONSTRUCTION AND SHALL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS.

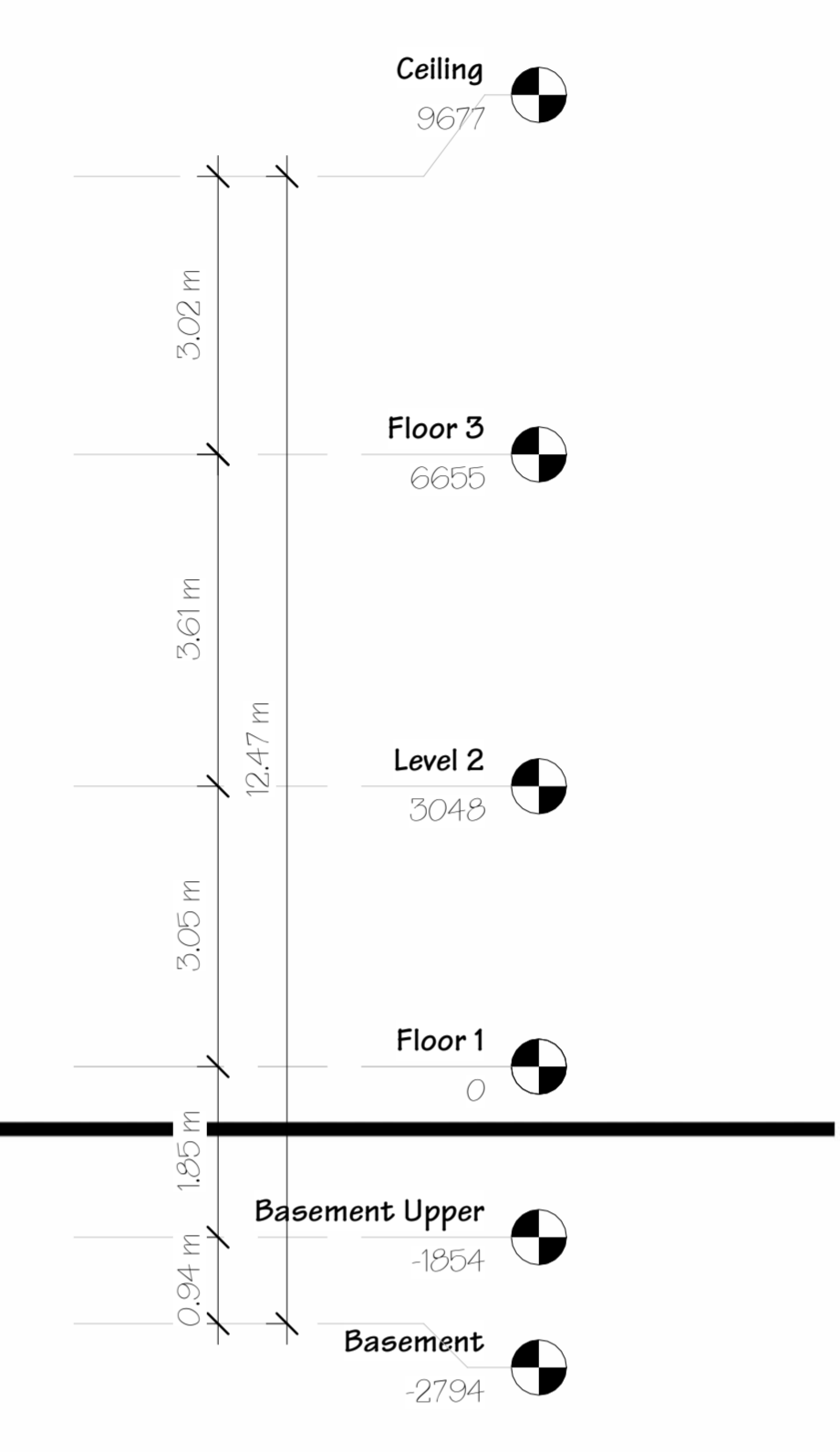
7. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

8. ALL CONTRACTORS OF SUBCONTRACTORS MUST SAFELY THROUGHOUT THE WORKING AND AT ALL TIMES ENSURE THAT THE CONTRACTOR CONDUCTS THE WORK RESPONSIBLY.

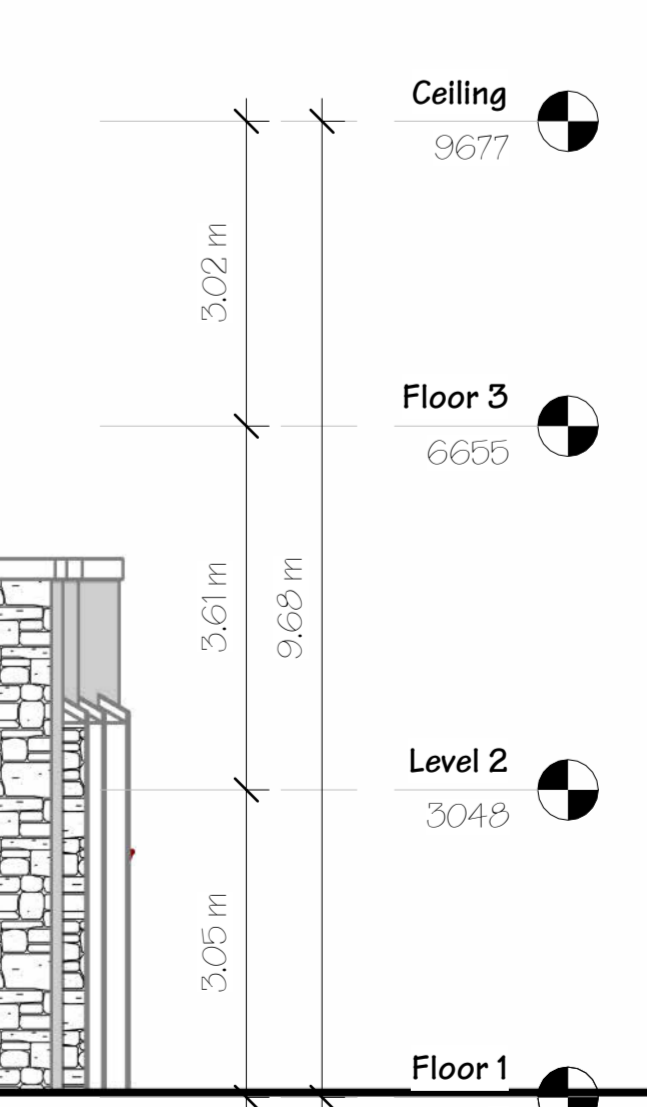
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**1** WEST ELEVATION - EXISTING & DEMOLITION  
1:75



**2** EAST ELEVATION - EXISTING & DEMOLITION  
1:75



Legend:  DEMOLITION  EXISTING CONSTRUCTION

**Revision Schedule**

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02	Issued for Client Review	2023-12-09
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**EXISTING & DEMO ELEVATIONS**

OPAZBA Application	Date
	2023-04-20

Project Number	Scale
22.0006.00	1:75

Drawn by	Checked by
JM	ER

**AA-105**

NOT FOR CONSTRUCTION



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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURES AND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL REPORT ANY DISCREPANCIES TO THE CONTRACTOR FOR RESOLUTION.

4. DIMENSIONS ARE NOT TO SCALE FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

6. THIS DRAWING AND ITS CONTENTS FOR CONSTRUCTION ARE THE PROPERTY OF BOLDERA ARCHITECTS INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.

7. POSITIONS OF EXPOSED FINISHES, MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE MECHANICAL AND ELECTRICAL CONDITIONS FROM THE ARCHITECTURAL DRAWINGS COVERING THE MECHANICAL AND ELECTRICAL CONDITIONS. THESE ITEMS NOT CLEARLY LOCATED SHALL BE LOCATED BY THE CONTRACTOR.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ANY OTHER APPLICABLE REGULATIONS. ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH CANADIAN STANDARDS AND ALL ELECTRICAL WORK TO COMPLY WITH CANADIAN ELECTRICAL CODE AS APPLICABLE.

9. ALL CONTRACTORS OF SUBCONTRACTORS MUST OBTAIN ALL NECESSARY PERMITS AND AT ALL TIMES MAINTAIN THE SAFETY OF THE WORKING CONDITIONS.

10. BOLDERA ARCHITECTS INC.



**1** NORTH ELEVATION - EXISTING & DEMOLITION  
1:75



**2** SOUTH ELEVATION - EXISTING & DEMOLITION  
1:75

NOT FOR CONSTRUCTION

Legend:

- DEMOLITION
- EXISTING CONSTRUCTION

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EXISTING & DEMO ELEVATIONS

OPAZBA Application	Date
22.0006.00	2022-12-09

Project Number: 22.0006.00 Scale: 1:75  
Drawn by: JM Checked by: ER

**AA-106**



1. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF BOLDERA ARCHITECTS INC. AND NO PART OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

2. THIS CONTRACT IS VALID AND THE ARCHITECT IS NOT RESPONSIBLE FOR THE IMPLEMENTATION OF THESE DOCUMENTS BY THE CONTRACTOR OR ANY OTHER PARTY. THE ARCHITECT HAS NO LIABILITY FOR THE CONTRACTOR'S OMISSIONS, ERRORS OR SUPPLEMENTARY INFORMATION REQUIRED BY THE INTENT OF THE CONTRACT DOCUMENTS.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR GENERAL CONFORMANCE ONLY.

4. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT AND DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING AND THE WORK FOR CONSTRUCTION ARE ISSUED BY THE ARCHITECT.

7. POSITIONS OF EXPOSED FINISHES, MECHANICAL AND ELECTRICAL DEVICES, FITTINGS AND FIXTURES ARE INDICATED IN THE MECHANICAL, ELECTRICAL AND PLUMBING WORK. THE ARCHITECTAL DRAWINGS COVER ONLY THE MECHANICAL AND ELECTRICAL DEVICES. THESE ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL AND ELECTRICAL CODES AND ANY OTHER APPLICABLE CODES AND REGULATIONS AS SPECIFIED BY BOLDERA ARCHITECTS INC.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ANY OTHER APPLICABLE CODES AND REGULATIONS AS SPECIFIED BY BOLDERA ARCHITECTS INC. TO COMPLY WITH CANADIAN STANDARDS FOR THE ELECTRICAL WORK TO CONFORM TO CANADIAN ELECTRICAL CODE AS APPLICABLE.

9. ALL CONTRACTORS OR SUBCONTRACTORS MUST SAFELY THROUGHOUT THE WORKING AND AT ALL TIMES ENSURE THAT THE CONTRACTOR COMPLETES THE WORK RESPONSIBLY BY THESE.

BOLDERA ARCHITECTS INC.



**1** COURTYARD EAST ELEVATION - EXISTING & DEMOLITION  
1:75

NOT FOR CONSTRUCTION

**Revision Schedule**

No.	Description	Date
02	Issued for Client Review	2023-12-09
03	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
Rethinking the future of architecture, sustainably.

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 Toronto, Ontario M6H 5K1 Web: boldera.ca

FC Entertainment & Hospitality Inc.  
**Royal Rose Court**  
 1235 & 1259 3rd Avenue East  
 Queen Square, ON M8K 2J6

**EXISTING & DEMO ELEVATIONS**

OPAZBA Application	Date	2023-04-20	
Project Number	22.0006.00	Scale	1:75
Drawn by	JM	Checked by	ER

**AA-107**







AREA SUMMARY SCHEDULE

Proposed Use	Basement GFA	Ground Floor GFA	Second Floor GFA	Third Floor GFA
Community Lifestyle	245 m <sup>2</sup>	1234 m <sup>2</sup>	1523 m <sup>2</sup>	
Restaurant	41 m <sup>2</sup>	310 m <sup>2</sup>	220 m <sup>2</sup>	
Drinking Establishment		170 m <sup>2</sup>	187 m <sup>2</sup>	75 m <sup>2</sup>
Drinking Establishment Patio		228 m <sup>2</sup>		
Office	380 m <sup>2</sup>			175 m <sup>2</sup>
<b>Total</b>	<b>666 m<sup>2</sup></b>	<b>1842 m<sup>2</sup></b>	<b>1920 m<sup>2</sup></b>	<b>250 m<sup>2</sup></b>
<b>Grand Total: 3668 m<sup>2</sup></b>				



**Proposed Use Legend**

- COMMUNITY LIFESTYLE
- DRINKING ESTABLISHMENT
- DRINKING ESTABLISHMENT PATIO
- EXTERIORS
- OFFICES
- RESTAURANT

1. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE SOLE PROPERTY OF BOLDERA ARCHITECTS INC. AND SHALL REMAIN THE PROPERTY OF BOLDERA ARCHITECTS INC. WITHOUT LIMITATION OF REMEDY. NO PART OR WHOLE THEREOF SHALL BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BOLDERA ARCHITECTS INC.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

4. DIMENSIONS ARE NOT TO SCALE FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

6. THE DRAWING AND THE SPECIFICATIONS SHALL BE THE SOLE BASIS FOR CONSTRUCTION AND SHALL SUPERSEDE ALL OTHER DOCUMENTS.

7. PORTINGS OF EXPOSED FINISHES, MECHANICAL AND ELECTRICAL DEVICES, FITTINGS AND FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

8. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

9. ALL CONTRACTORS OF SUBCONTRACTORS MUST SAFELY THROUGHOUT THE WORKING AND AT ALL TIMES MAINTAIN THE SAFETY OF ALL PERSONS AND PROPERTY.

10. BOLDERA ARCHITECTS INC.

**Revision Schedule**

No.	Description	Date
1	Issued for Pre-Construction Meeting	2023-10-14
2	Issued for Client Review	2023-12-09
3	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
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FC Entertainment & Hospitality Inc.  
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Owen Sound, ON N4K 2J6

**PROPOSED FLOOR PLAN - LEVEL 1**

OPAZBA Application	Date
22.0006.00	As Indicated

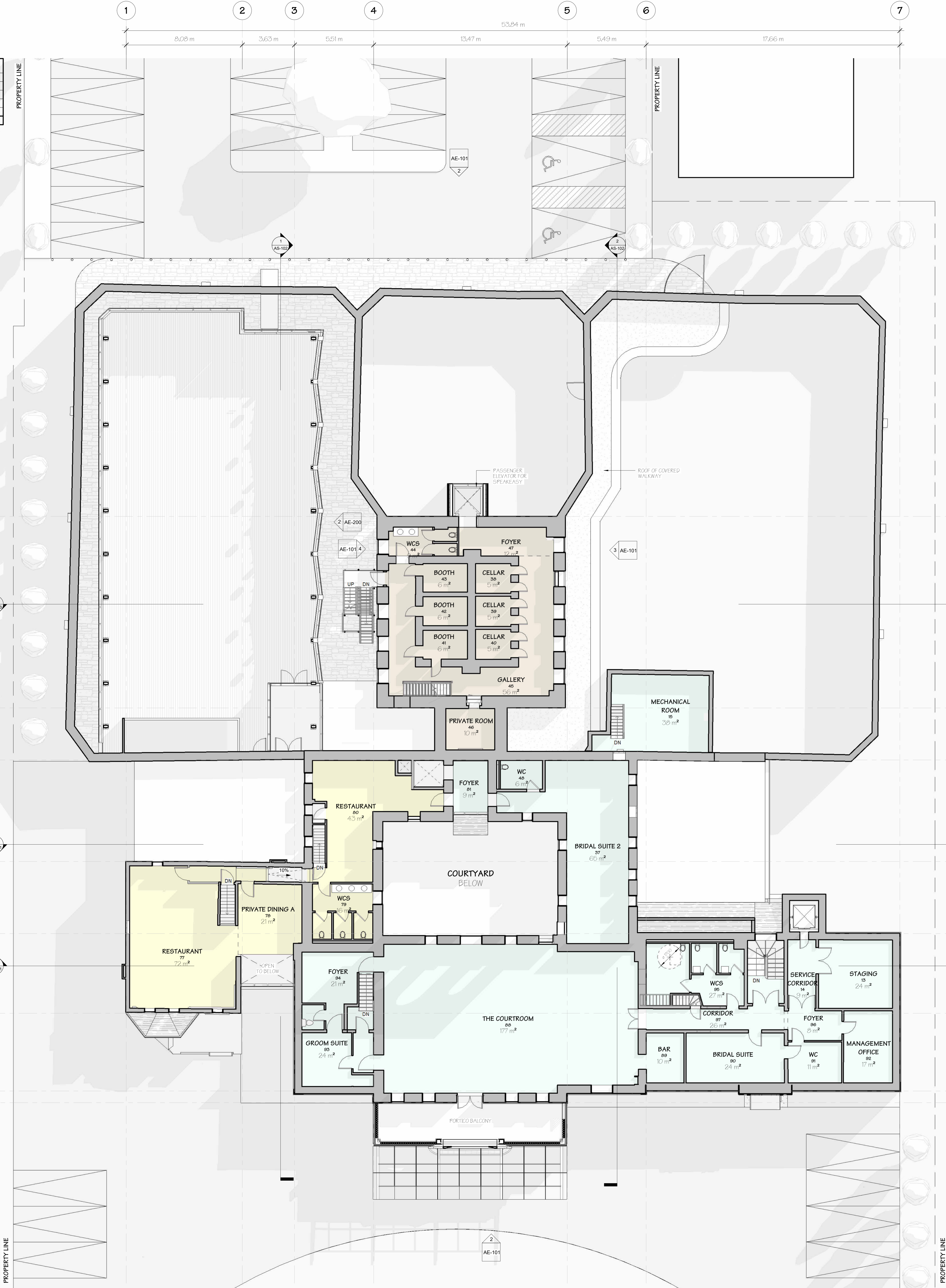
Drawn by: JM Checked by: ER

**AP-102**



AREA SUMMARY SCHEDULE

Proposed Use (Code 59 Use)	Basement GFA	Ground Floor GFA	Second Floor GFA	Third Floor GFA
Community Lifestyle	245 m <sup>2</sup>	1334 m <sup>2</sup>	633 m <sup>2</sup>	-
Restaurant	41 m <sup>2</sup>	330 m <sup>2</sup>	220 m <sup>2</sup>	175 m <sup>2</sup>
Drinking Establishment	-	176 m <sup>2</sup>	100 m <sup>2</sup>	175 m <sup>2</sup>
Drinking Establishment Patio	-	224 m <sup>2</sup>	-	-
Office	2	789 m <sup>2</sup>	1213 m <sup>2</sup>	175 m <sup>2</sup>
100%	250 m <sup>2</sup>	3,266 m <sup>2</sup>	1,971 m <sup>2</sup>	175 m <sup>2</sup>
Grand Total: 3962 m <sup>2</sup>				



**Proposed Use Legend**

- COMMUNITY LIFESTYLE
- DRINKING ESTABLISHMENT
- RESTAURANT

1. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF BOLDERA ARCHITECTS INC. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

3. IF CONSTRUCTION ADMINISTRATOR SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL REVIEW AND APPROVE ALL SUBMITTALS FOR THE CONTRACTOR'S USE.

4. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT.

5. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

6. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

8. ALL CONTRACTORS OF SUBCONTRACTORS MUST OBTAIN NECESSARY PERMITS AND APPROVALS AT ALL TIMES THROUGHOUT THE PROJECT.

9. BOLDERA ARCHITECTS INC.

**Revision Schedule**

No.	Description	Date
1	Issued for Pre-Consultation Meeting	2023-10-14
2	Issued for Client Review	2023-12-09
3	Issued for OPA/ZBA - Submission 1	2023-04-20

**Boldera Architects**  
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Owen Sound, ON N4K 2J5

PROPOSED FLOOR PLAN - LEVEL 2

OPA/ZBA Application	Date	2023-04-20
Project Number	22.0006.00	Scale
Author	Checked by	Checker

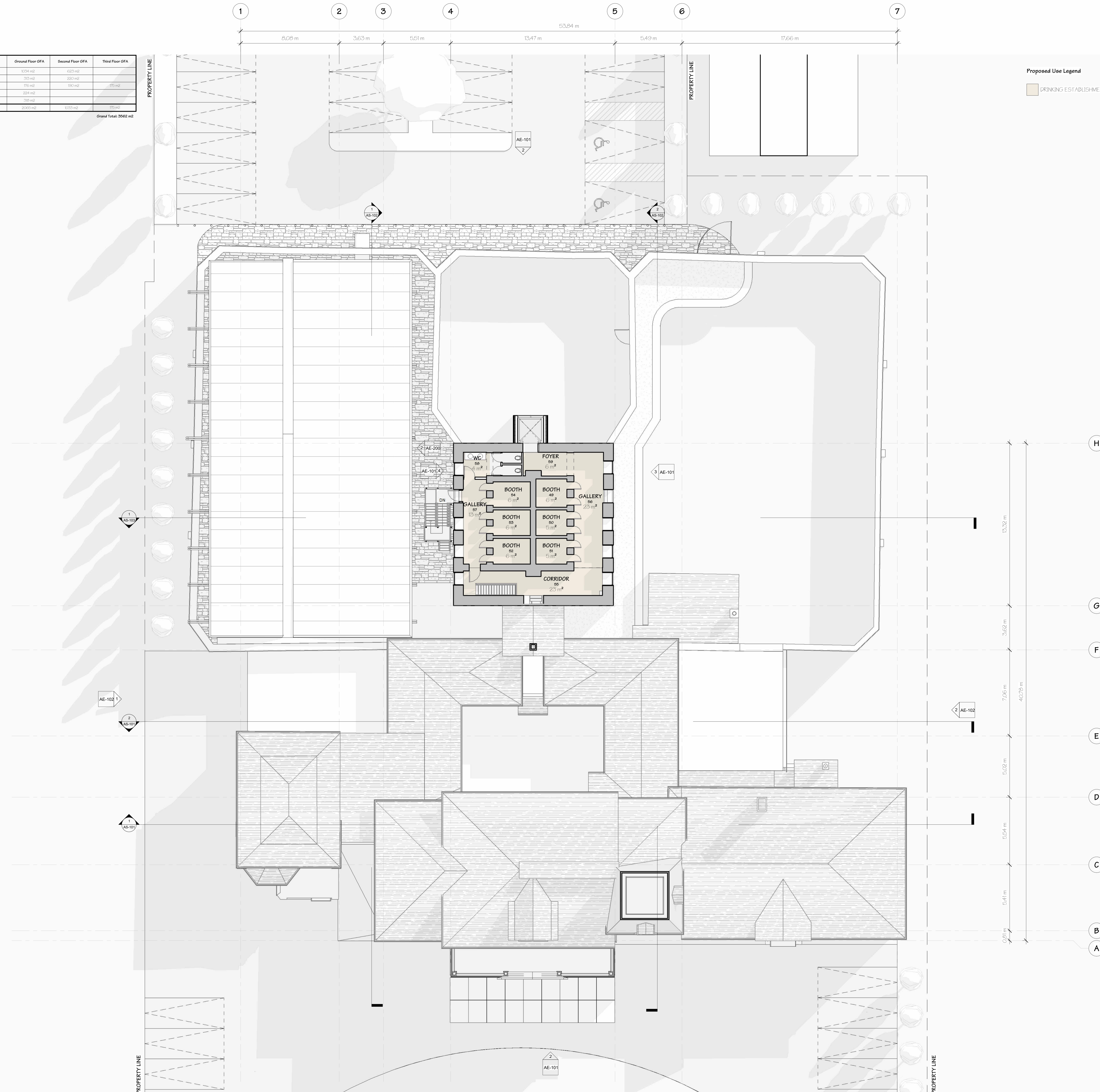
**AP-103**



AREA SUMMARY SCHEDULE

Proposed Use	Basement GFA	Ground Floor GFA	Second Floor GFA	Third Floor GFA
Community Lifestyle	245 m <sup>2</sup>	1204 m <sup>2</sup>	5203 m <sup>2</sup>	
Restaurant	41 m <sup>2</sup>	310 m <sup>2</sup>	220 m <sup>2</sup>	
Drinking Establishment		170 m <sup>2</sup>	180 m <sup>2</sup>	175 m <sup>2</sup>
Drinking Establishment Patio		224 m <sup>2</sup>		
Office		387 m <sup>2</sup>		171 m <sup>2</sup>
<b>Total</b>	<b>2890 m<sup>2</sup></b>	<b>2695 m<sup>2</sup></b>	<b>5303 m<sup>2</sup></b>	<b>171 m<sup>2</sup></b>

Grand Total: 3062 m<sup>2</sup>



Proposed Use Legend  
 DRINKING ESTABLISHMENT

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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS.

4. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT AND DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THE DRAWING AND THIS SET OF SHOP DRAWINGS ARE SUBJECT TO THE ARCHITECT'S REVISIONS AND AMENDMENTS TO THE ARCHITECTURAL DRAWINGS COVERED UNDER THE MECHANICAL AND ELECTRICAL CONTRACTS. THESE REVISIONS SHALL BE COORDINATED BY BOLDERA ARCHITECTS INC.

7. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND STANDARDS. ALL PLUMBING AND MECHANICAL WORK TO CONFORM TO CANADA-CANADIAN STANDARDS AND ALL ELECTRICAL WORK TO CONFORM TO CANADIAN ELECTRICAL SAFETY CODE AS APPLICABLE.

8. ALL CONTRACTORS OR SUBCONTRACTORS MUST SAFETY THROUGHOUT THE WORKING AND AT ALL TIMES ENSURE THAT THEY CAN SAFELY CONDUCT THE WORK REPRESENTED BY THESE DRAWINGS.

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Revision Schedule

No.	Description	Date
1	Issued for Pre-Construction Meeting	2023-10-14
2	Issued for Client Review	2023-12-09
3	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
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PROPOSED FLOOR PLAN - LEVEL 3

OPAZBA Application	Date
	2023-04-20

Project Number	Scale	As Indicated
22.0006.00		

Drawn by	Checked by
JM	ER

AP-104

NOT FOR CONSTRUCTION



4/20/2023 2:55:24 PM



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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR AND FOR THE PROTECTION OF THE CONTRACTOR'S INTERESTS. BOLDERA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR.

3. IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL REPORT ANY DISCREPANCIES TO THE CONTRACTOR FOR THE ARCHITECT'S CORRECTION.

4. DIMENSIONS ARE NOT TO BE SCALE FOR CONSTRUCTION.

5. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING OR CONTINUING WITH ANY WORK.

6. THIS DRAWING AND THE WORK THEREON SHALL BE THE PROPERTY OF BOLDERA ARCHITECTS INC. AND SHALL REMAIN THE PROPERTY OF BOLDERA ARCHITECTS INC. UNLESS OTHERWISE SPECIFIED IN WRITING.

7. POSITIONS OF EXPOSED FINISH MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED ON THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FROM THE ARCHITECTURAL DRAWINGS COVERED BY THE MECHANICAL AND ELECTRICAL CONTRACTS. THESE POSITIONS SHALL BE CORRECTED BY BOLDERA ARCHITECTS INC.

8. ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND ALL APPLICABLE REGULATIONS AND STANDARDS. ALL PLUMBING AND MECHANICAL WORK TO COMPLY WITH CANADIAN STANDARDS AND ALL ELECTRICAL WORK TO COMPLY WITH CANADIAN ELECTRICAL SAFETY CODE AS APPLICABLE.

9. ALL CONTRACTORS OR SUBCONTRACTORS MUST SAFELY THROUGHLY READ AND UNDERSTAND ALL DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING WORK AND BE RESPONSIBLE FOR THE WORK REPRESENTED BY THESE DRAWINGS.

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**Revision Schedule**

No.	Description	Date
12	Issued for Client Review	2023-12-09
13	Issued for OPAZBA - Submission 1	2023-04-20

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**Royal Rose Court**  
1235 & 1239 3rd Avenue East  
Cherry Square, ON M6K 2J6

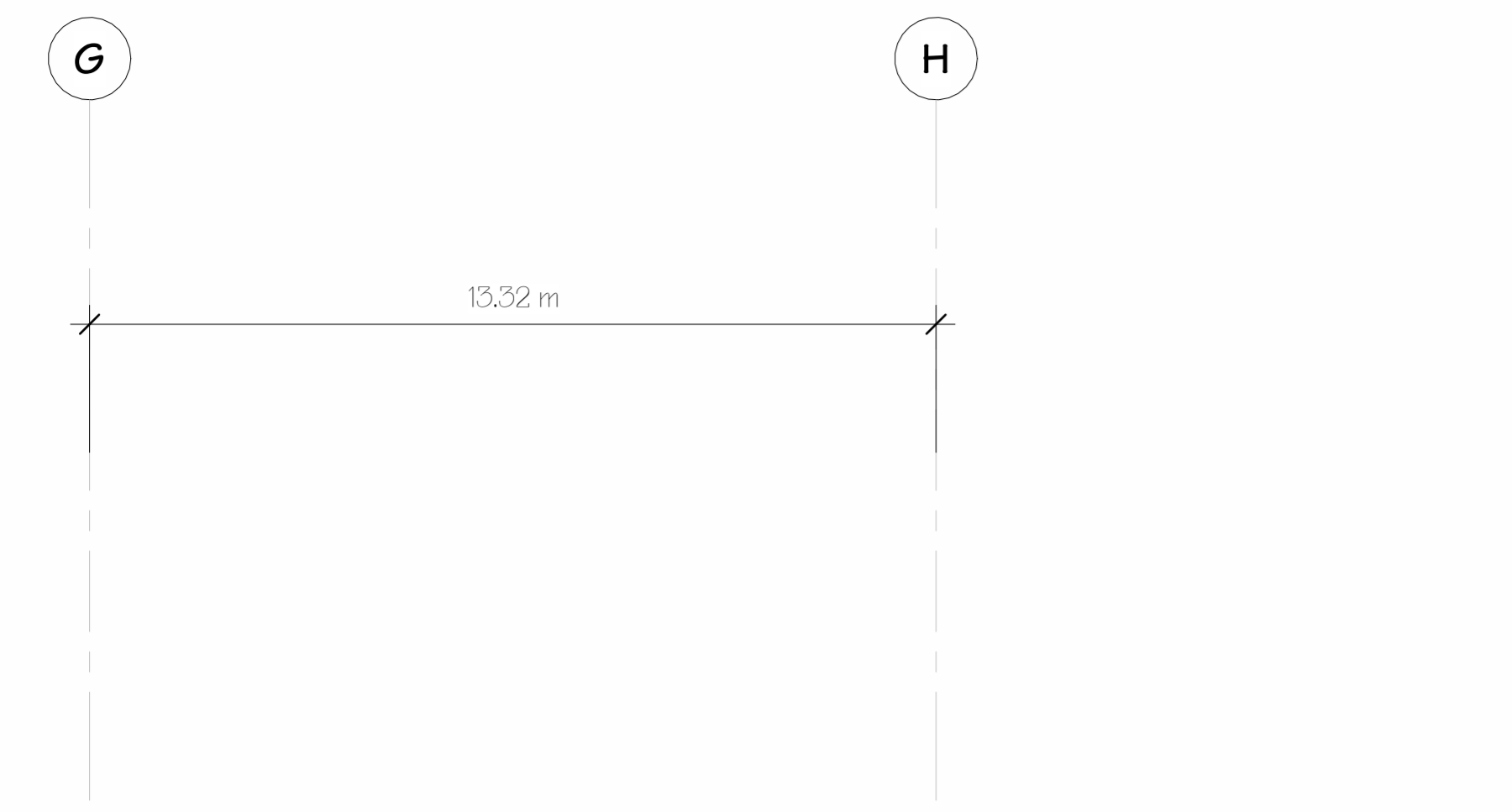
**PROPOSED FLOOR PLAN - ROOF**

OPAZBA Application	Date	2023-04-20
Project Number	22-0006-00	Scale
1:100	Checked by	ER
Drawn by	JM	Checked by

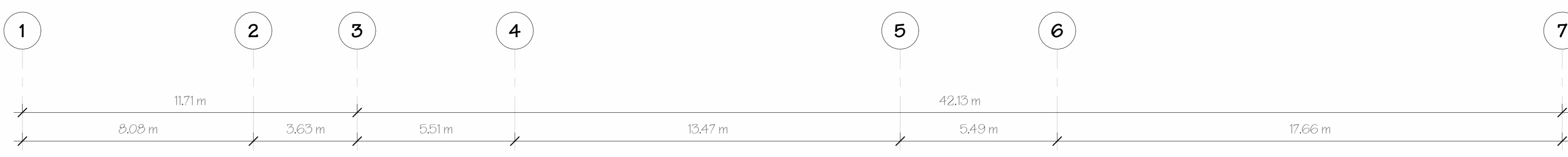
**AP-105**



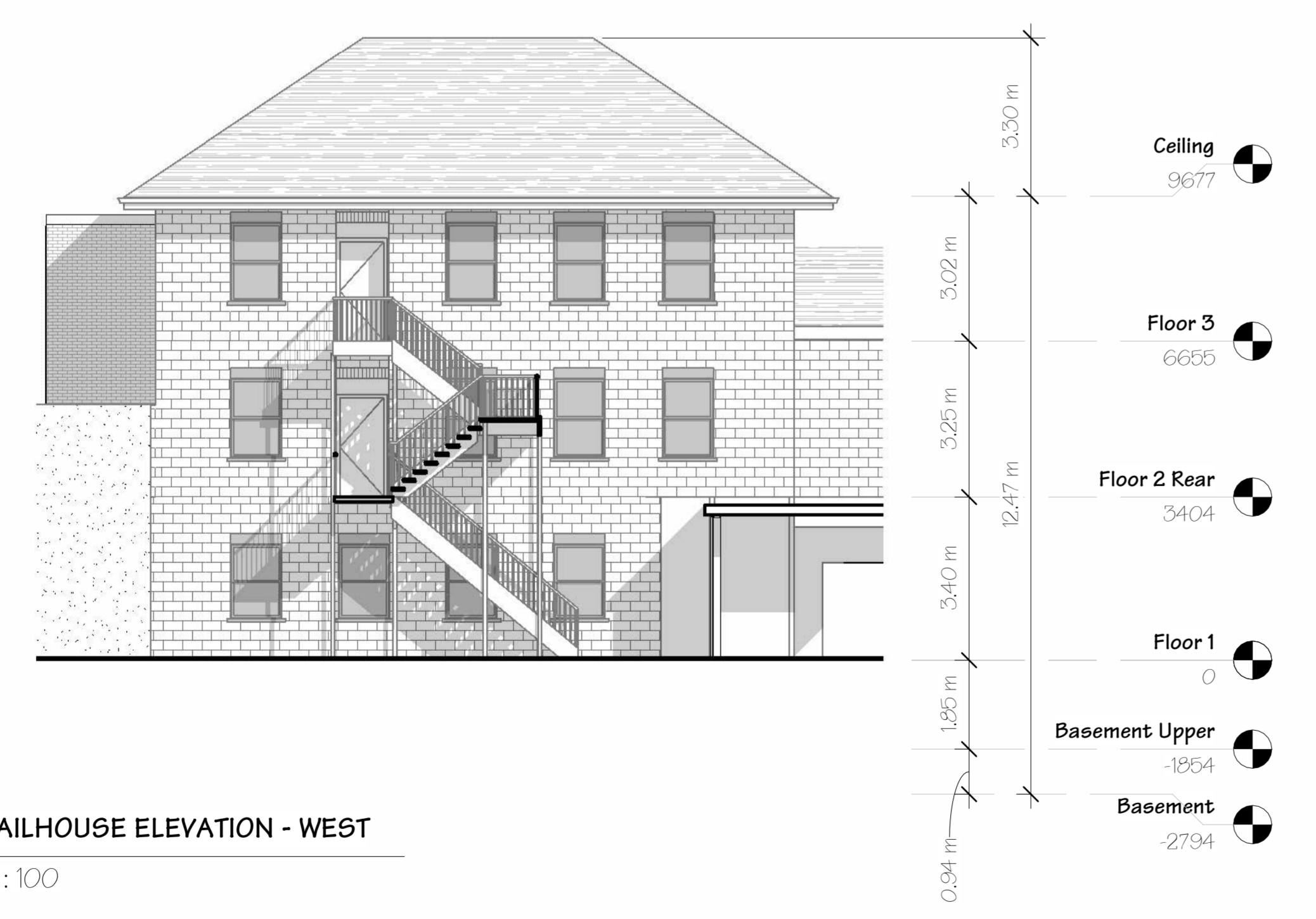
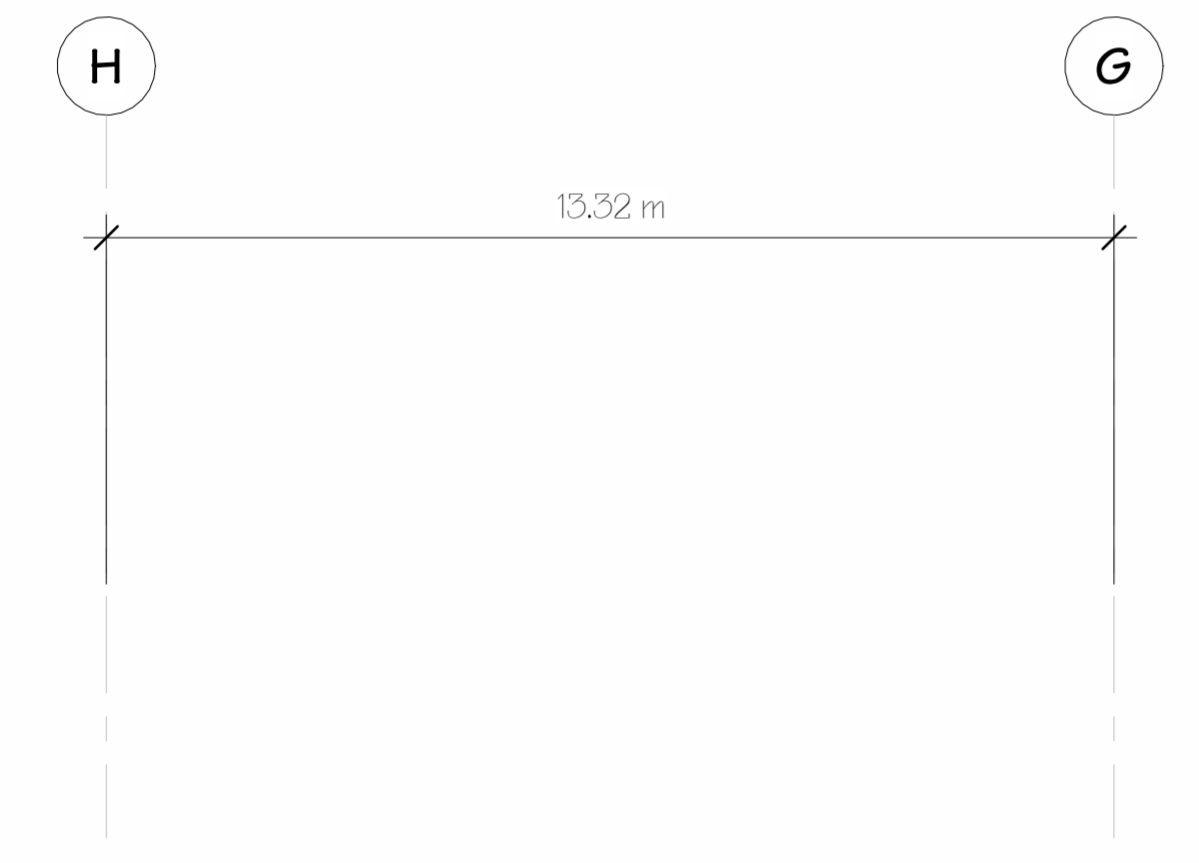
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**3** JAILHOUSE ELEVATION - EAST  
1:100



**2** WEST ELEVATION  
1:100



**4** JAILHOUSE ELEVATION - WEST  
1:100



**1** EAST ELEVATION  
1:100

**Revision Schedule**

No.	Description	Date
02	Issued for Client Review	2023-12-09
03	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
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FC Entertainment & Hospitality Inc.  
**Royal Rose Court**  
 1235 & 1293 3rd Avenue East  
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**BUILDING ELEVATIONS**

OPAZBA Application	Date
22.0006.00	2023-04-20

Project Number: 22.0006.00 Scale: 1:100  
 Drawn by: Author Checked by: Checker

**AE-101**

NOT FOR CONSTRUCTION



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IF CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED IN THE SCOPE OF WORK, THE ARCHITECT SHALL BE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THE WORK AND REPORTING ANY DISCREPANCIES TO THE CONTRACTOR IMMEDIATELY.

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT.

POSITIONS OF EXPOSED FINISHES, MECHANICAL AND ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ARCHITECTURAL FINISHES COVERED BY THE MECHANICAL AND ELECTRICAL DEVICES. THESE FINISHES SHALL BE COVERED BY THE CONTRACTOR. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE QUALITY CONTROL OF ALL WORK COVERED BY THESE FINISHES.

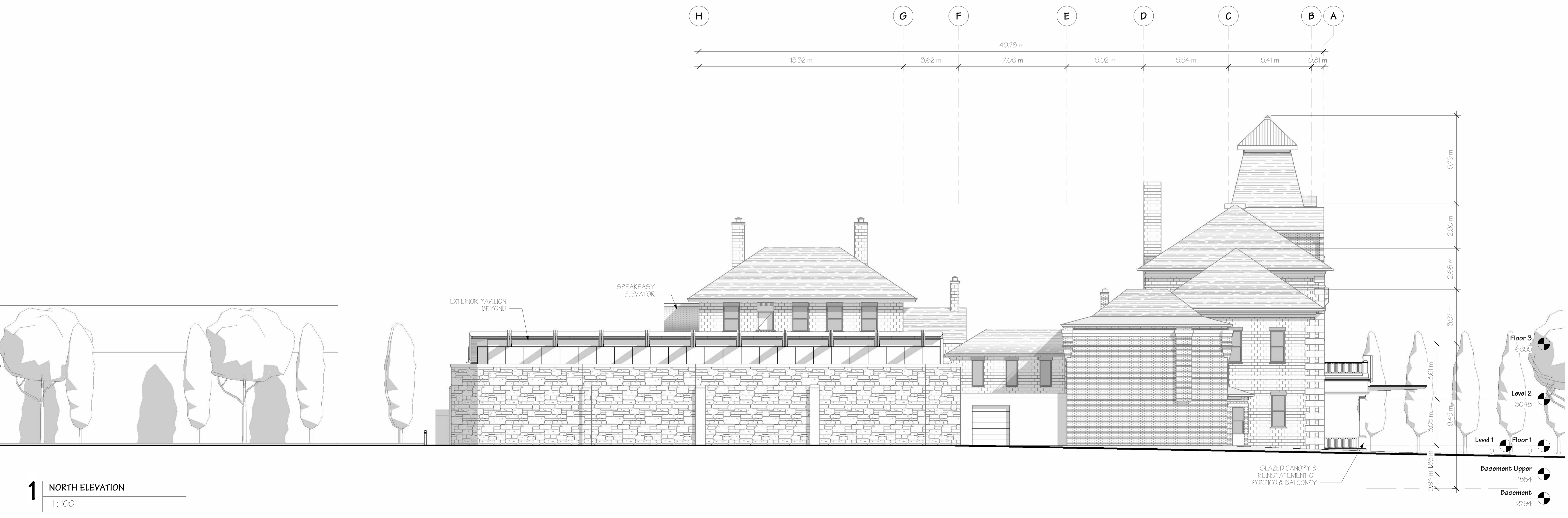
ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE MOST CURRENT BUILDING CODE AND STANDARDS OF THE PROVINCE OF ONTARIO. ALL FINISHES AND MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

ALL CONTRACTORS OR SUBCONTRACTORS MUST OBTAIN THROUGH THE ARCHITECT AND AT ALL TIMES ENSURE THAT THE CONTRACTOR IS COMPLYING WITH THE WORK REPRESENTED BY THESE DOCUMENTS.

BOLDERA ARCHITECTS INC.



**2** SOUTH ELEVATION  
1:100



**1** NORTH ELEVATION  
1:100

NOT FOR CONSTRUCTION

Revision Schedule		
No.	Description	Date
12	Issued for Client Review	2022-12-09
13	Issued for OPAZBA - Submission 1	2023-04-20

**Boldera Architects**  
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BUILDING ELEVATIONS			
OPAZBA Application	Date		
	2023-04-20	Project Number	22.0006.00
		Scale	1:100
Drawn by	Author	Checked by	Checker

**AE-102**