





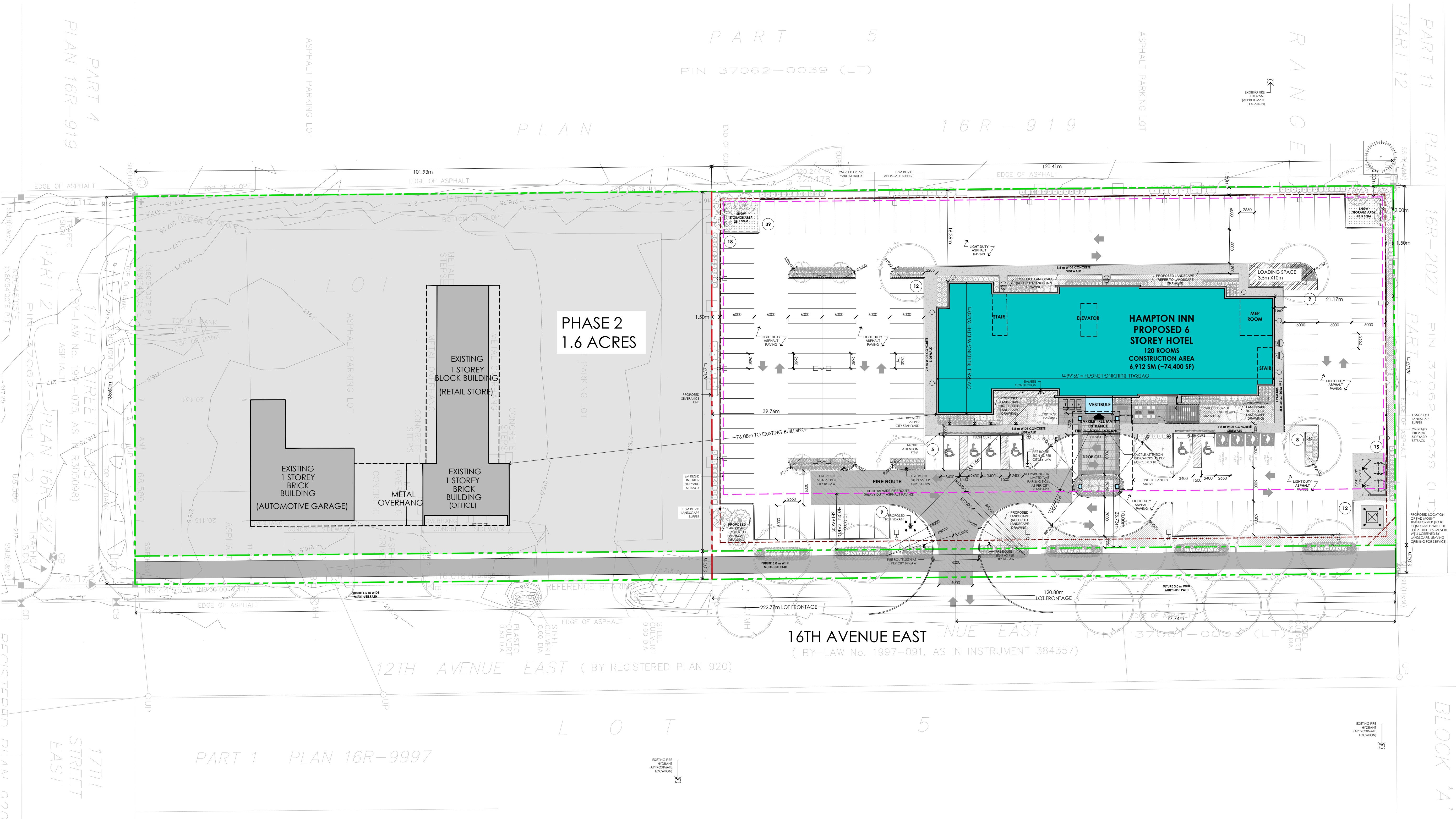
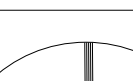
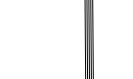
	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL
	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS
	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
	DESIGN LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
	NEW HEAVY DUTY ASPHALT PAVING (REMINER OF THE BITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
	UNIT PAVING (REFER TO LANDSCAPE DWGS)
	LANDSCAPED AREA



Project North:	True North:
	

[illegible]

Note:

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- USE LATEST REVISED DRAWINGS, DO NOT SCALE DRAWINGS.

A graphic divided into two vertical sections. The left section is white and contains the text "WORK IN PROGRESS" in a bold, grey, sans-serif font. The right section is light blue and contains the MATAJ ARCHITECTS INC logo, which consists of a stylized 'M' and 'A' icon above the company name in a bold, black, sans-serif font.

Architect's Stamp

MATAJARCHITECTS
INCORPORATED

206-418 Iroquois Shore Rd
Oakville Ontario
L6H 0X7
T.905.281.4444

Project:

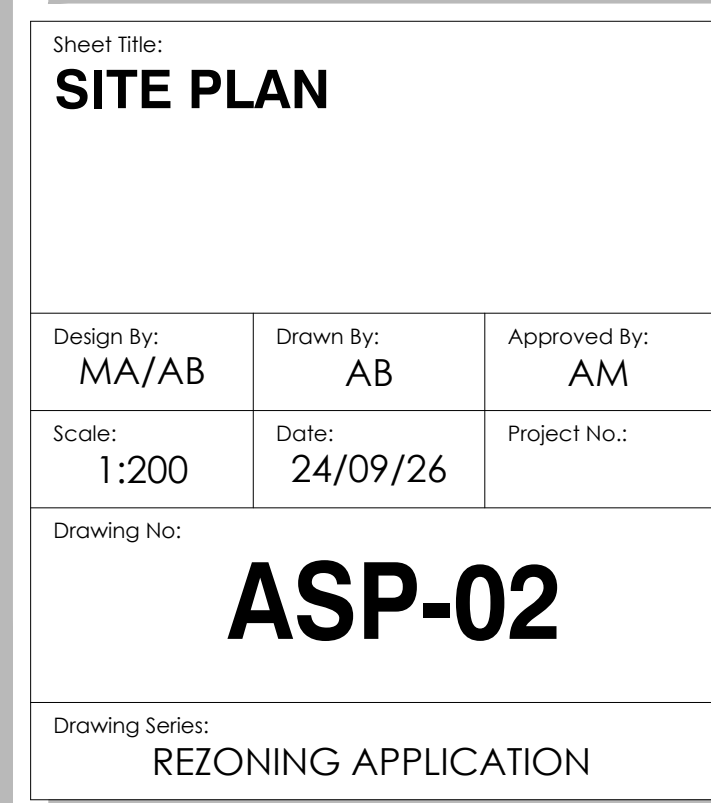
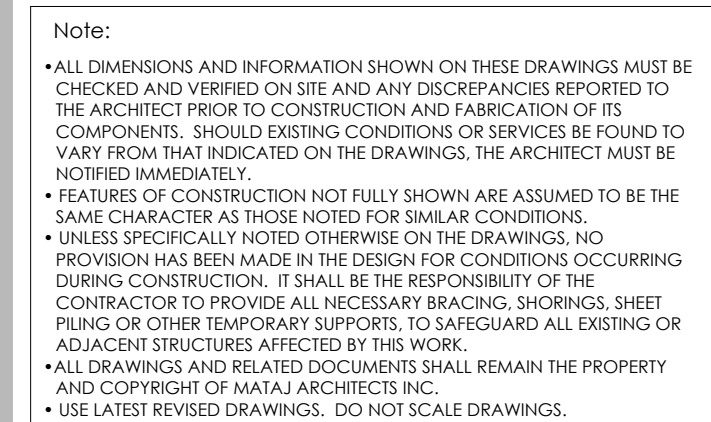
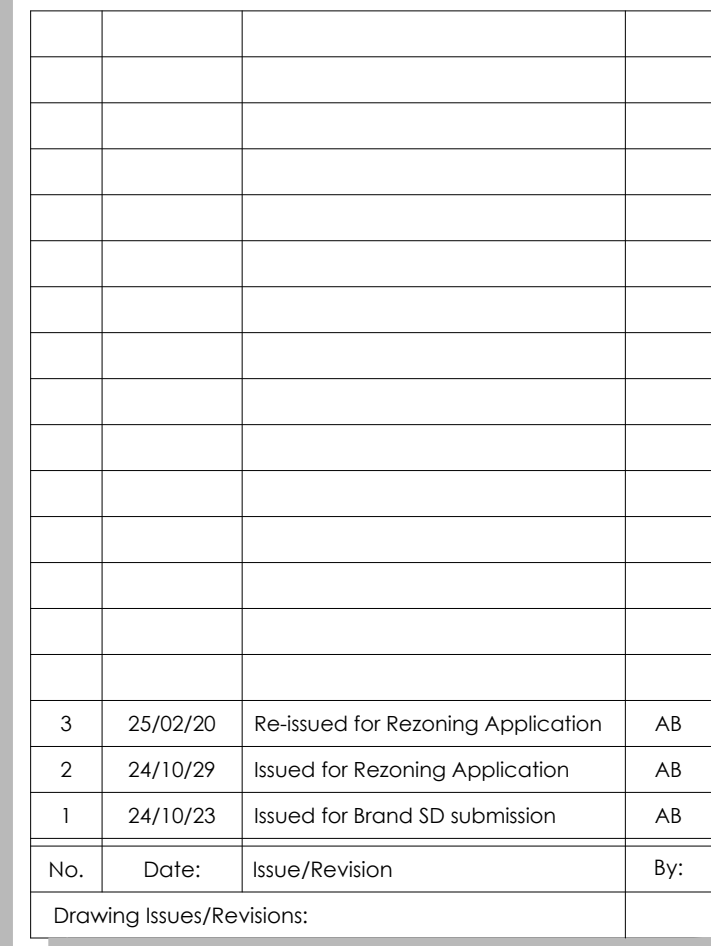
HAMPTON INN OWEN SOUND

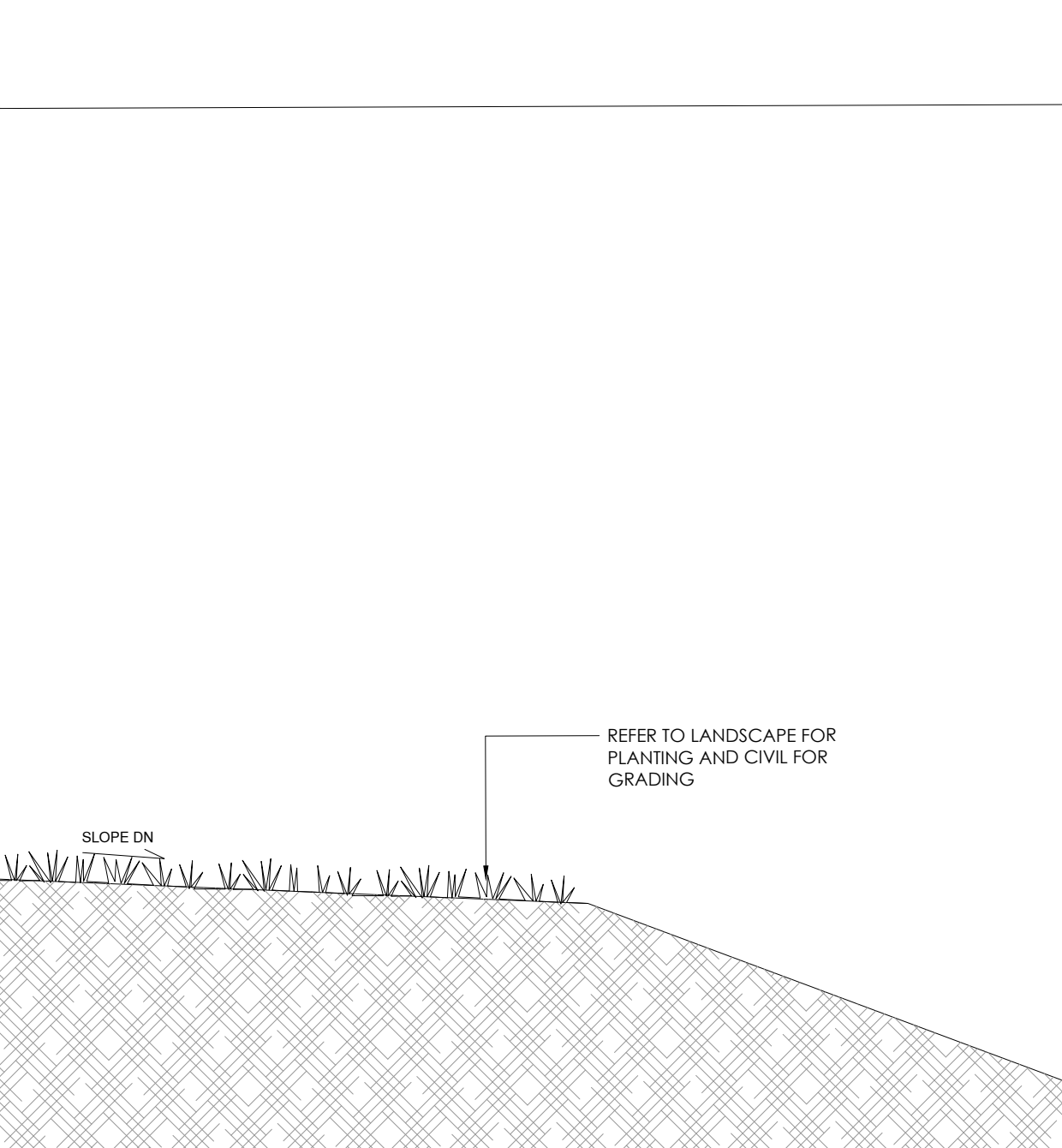
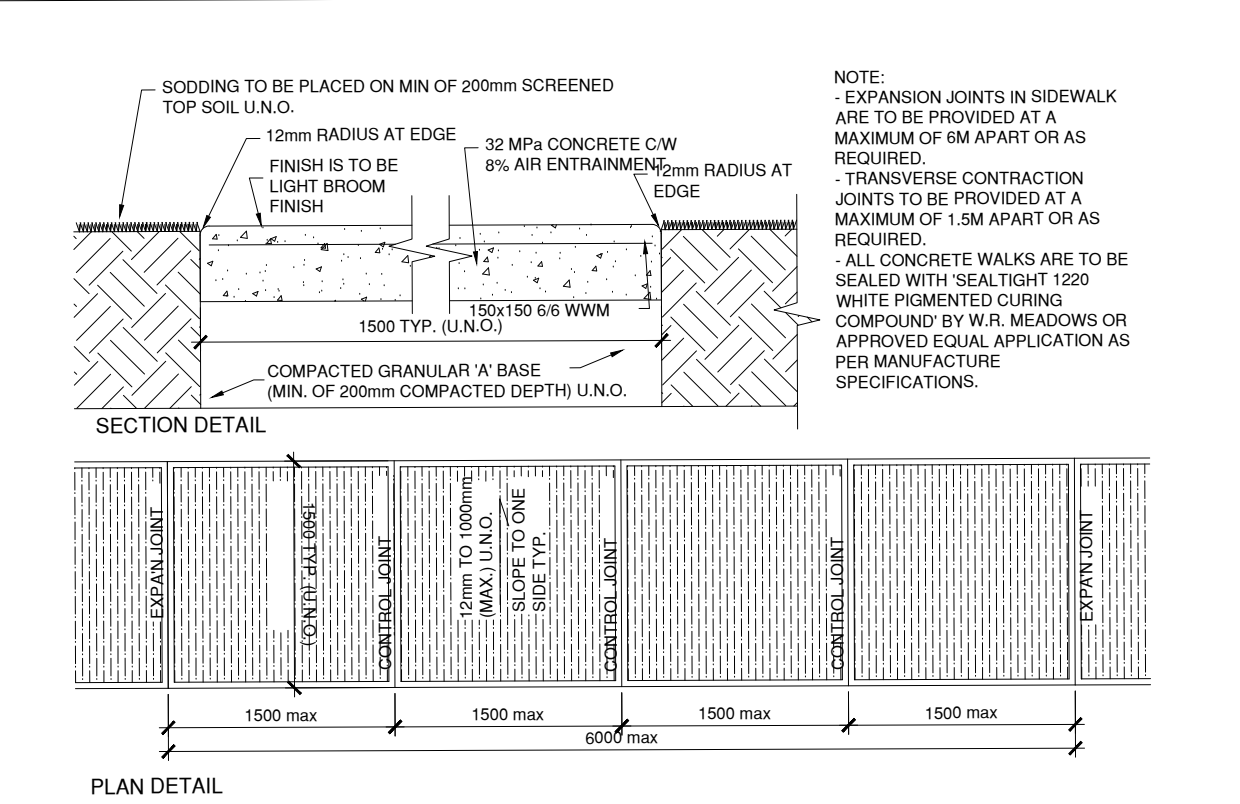
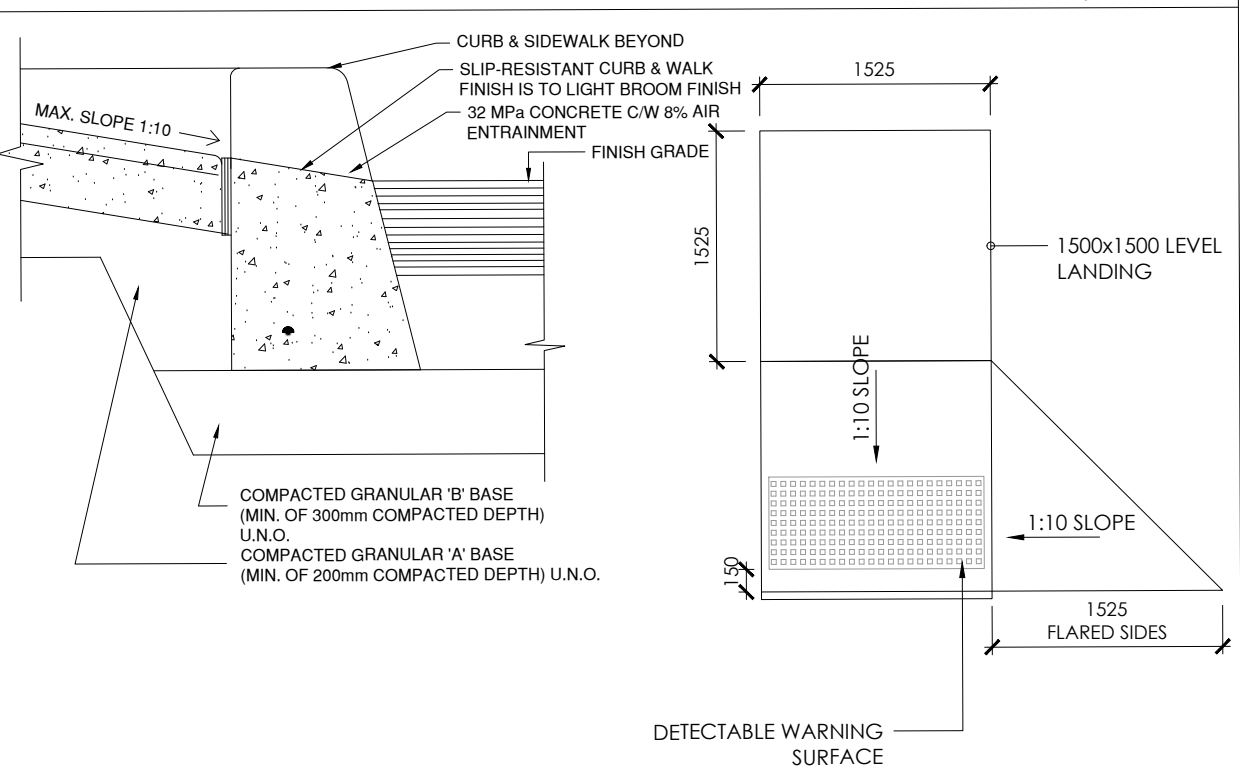
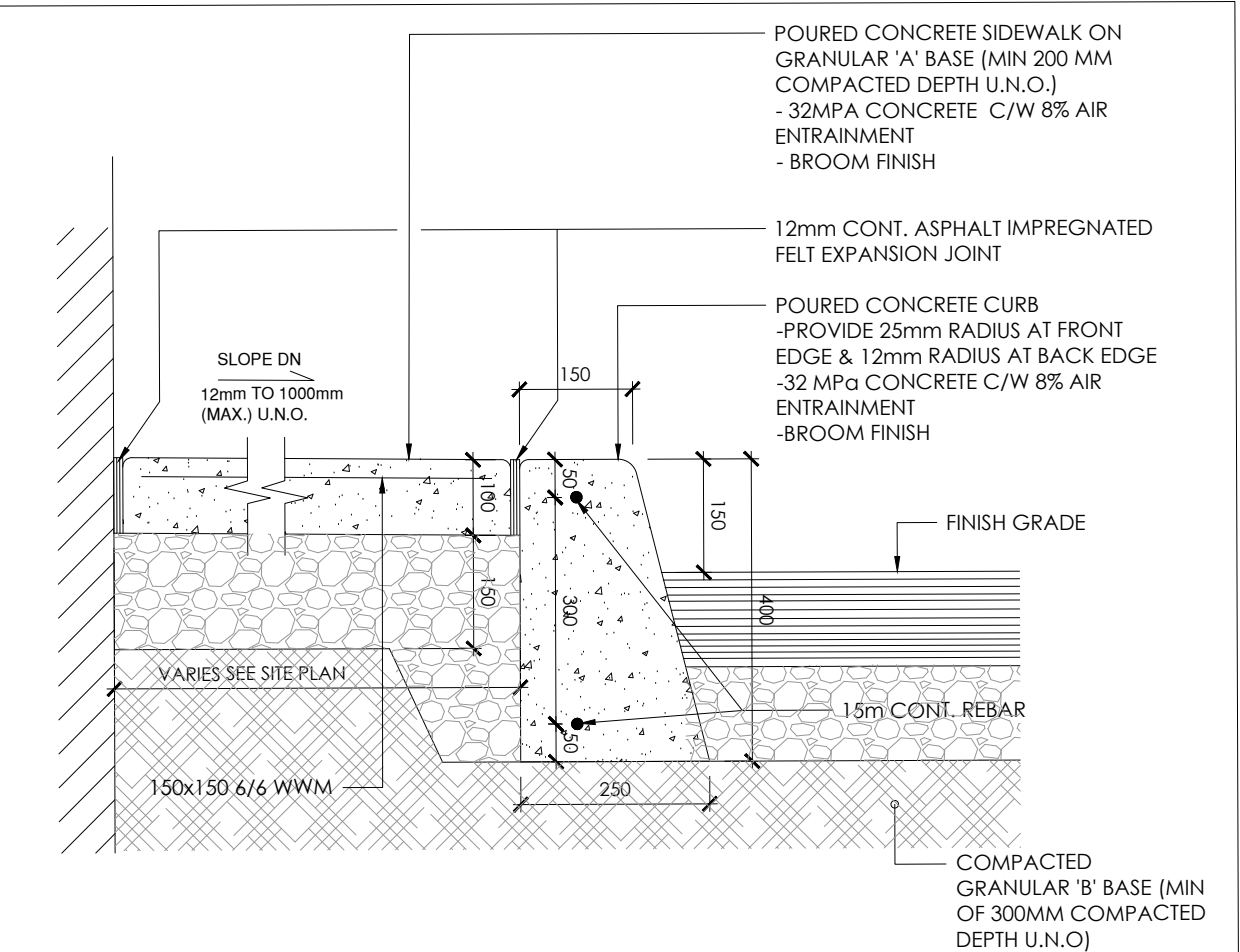
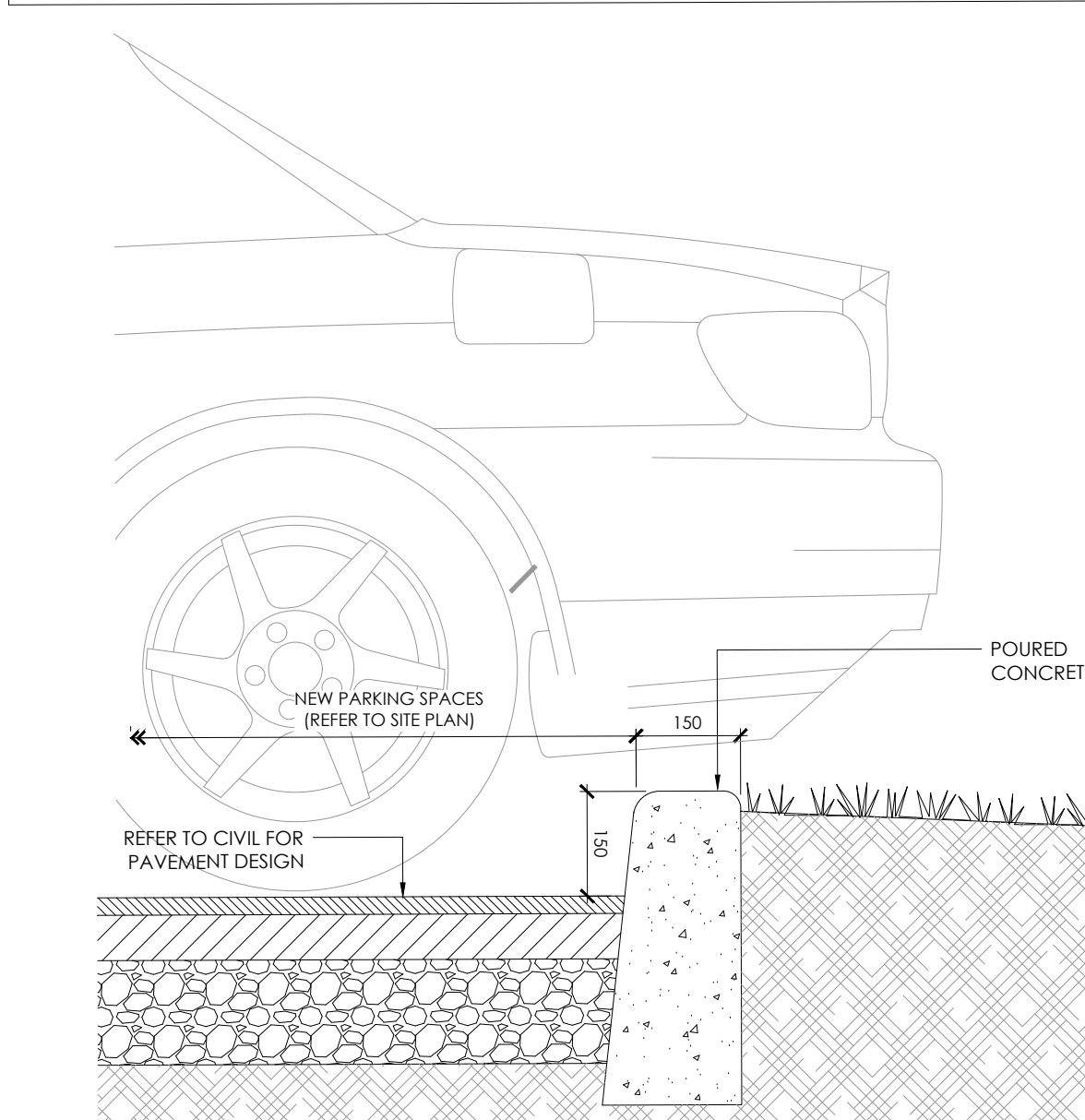
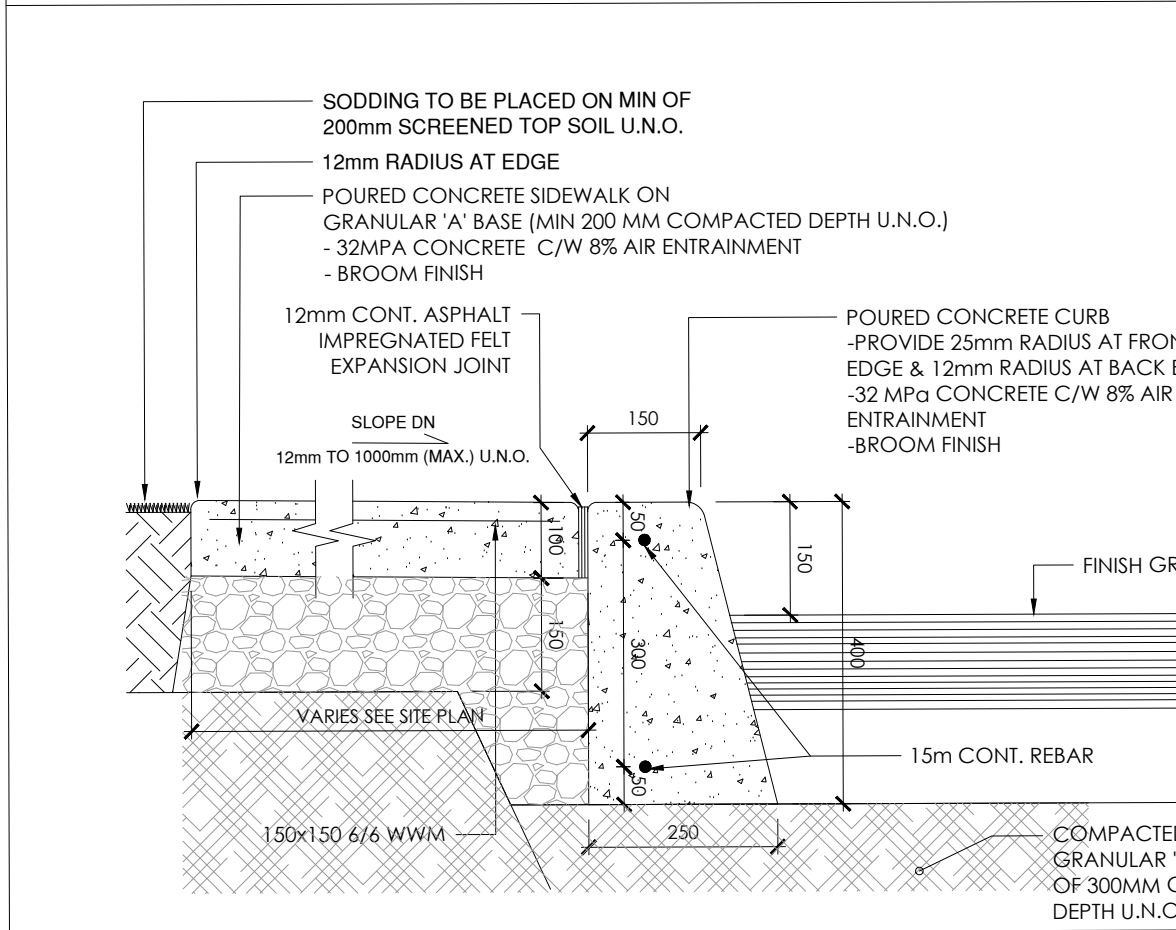
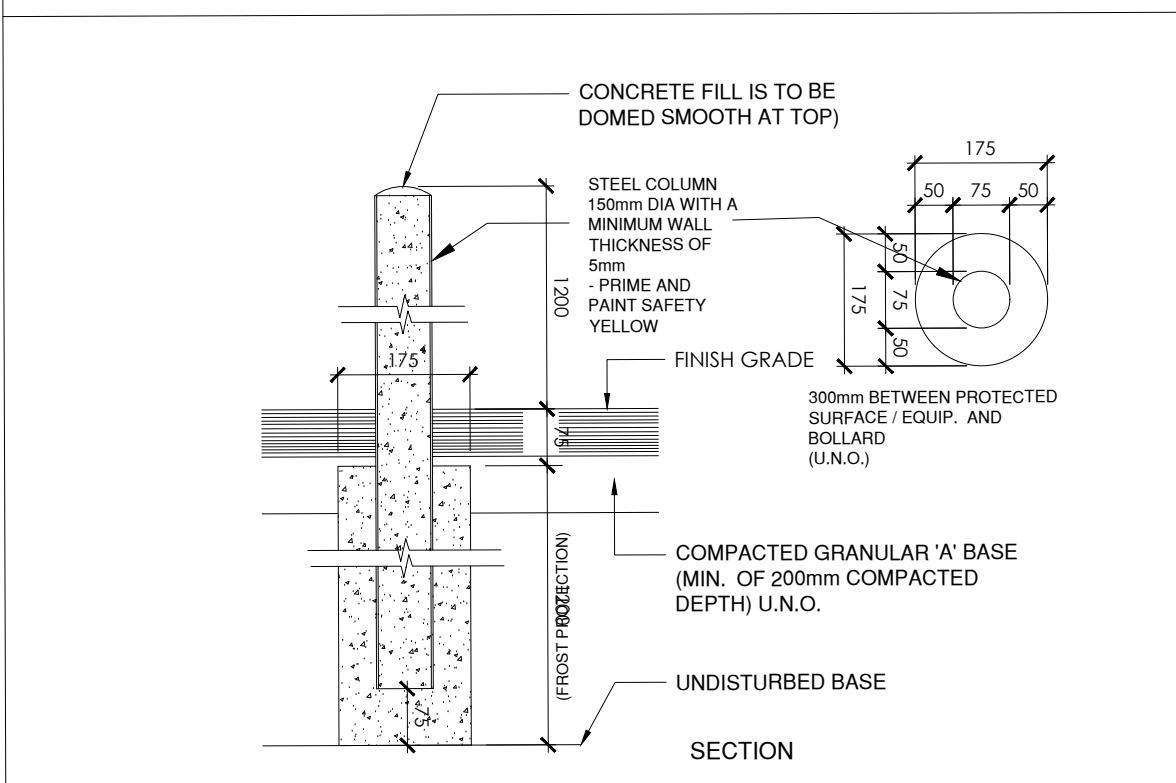
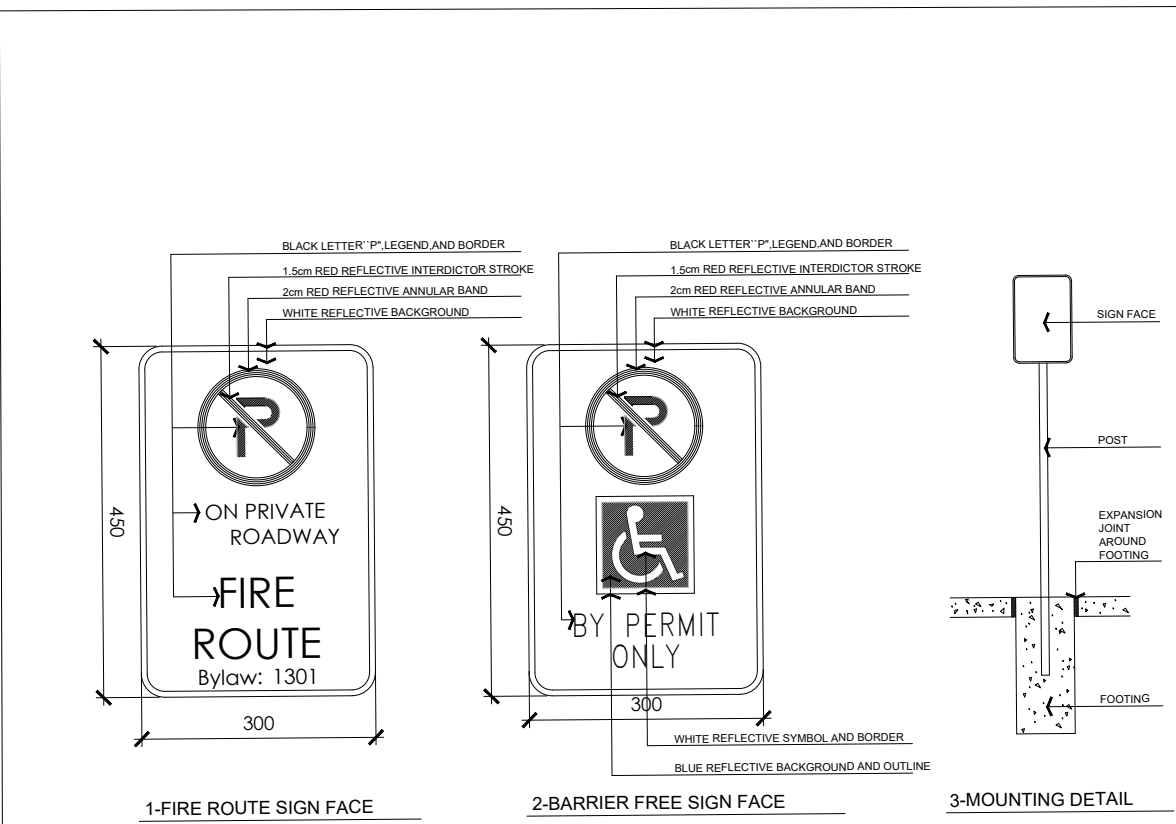


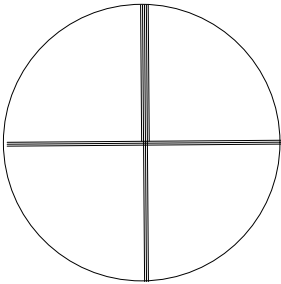
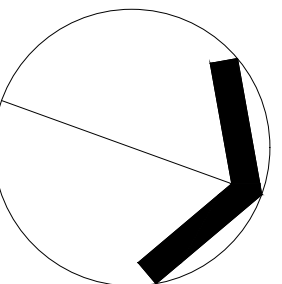
The logo for Hampton Inn is a blue shield-shaped emblem with a red border. Inside the shield, the words "Hampton Inn" are written in a white, elegant script font. Above the word "Hampton" is a small, stylized white icon of a bed or a similar structure. A registered trademark symbol (®) is located at the bottom right of the shield.

**1750 16TH AVENUE EAST, OWEN SOUND,
ON N4K 5N3**

Sheet Title: <h1>OVERALL SITE PLAN</h1>			
Design By: MA/AB		Drawn By: AB	
Scale: 1:350		Date: 24/09/26	
		Approved By: AM	
		Project No.:	
Drawing No: <h1>ASP-01</h1>			
Drawing Series: <h2>REZONING APPLICATION</h2>			





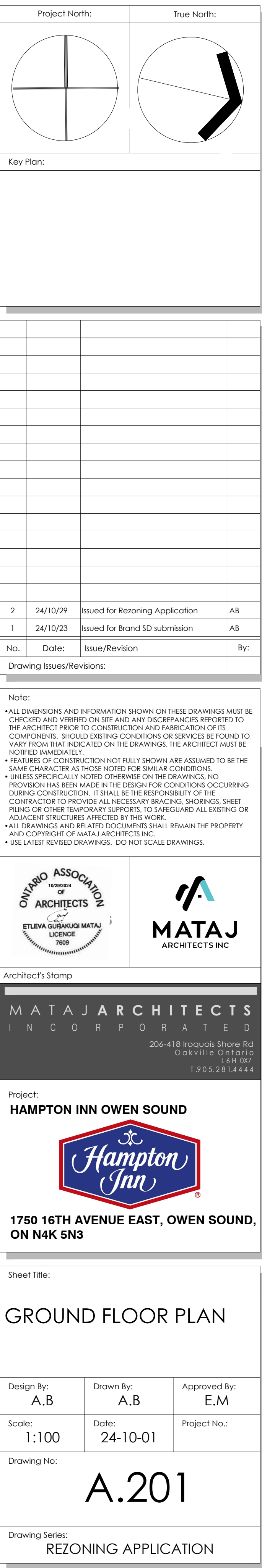
Project North:	True North:
	
<p>Key Plan:</p>	

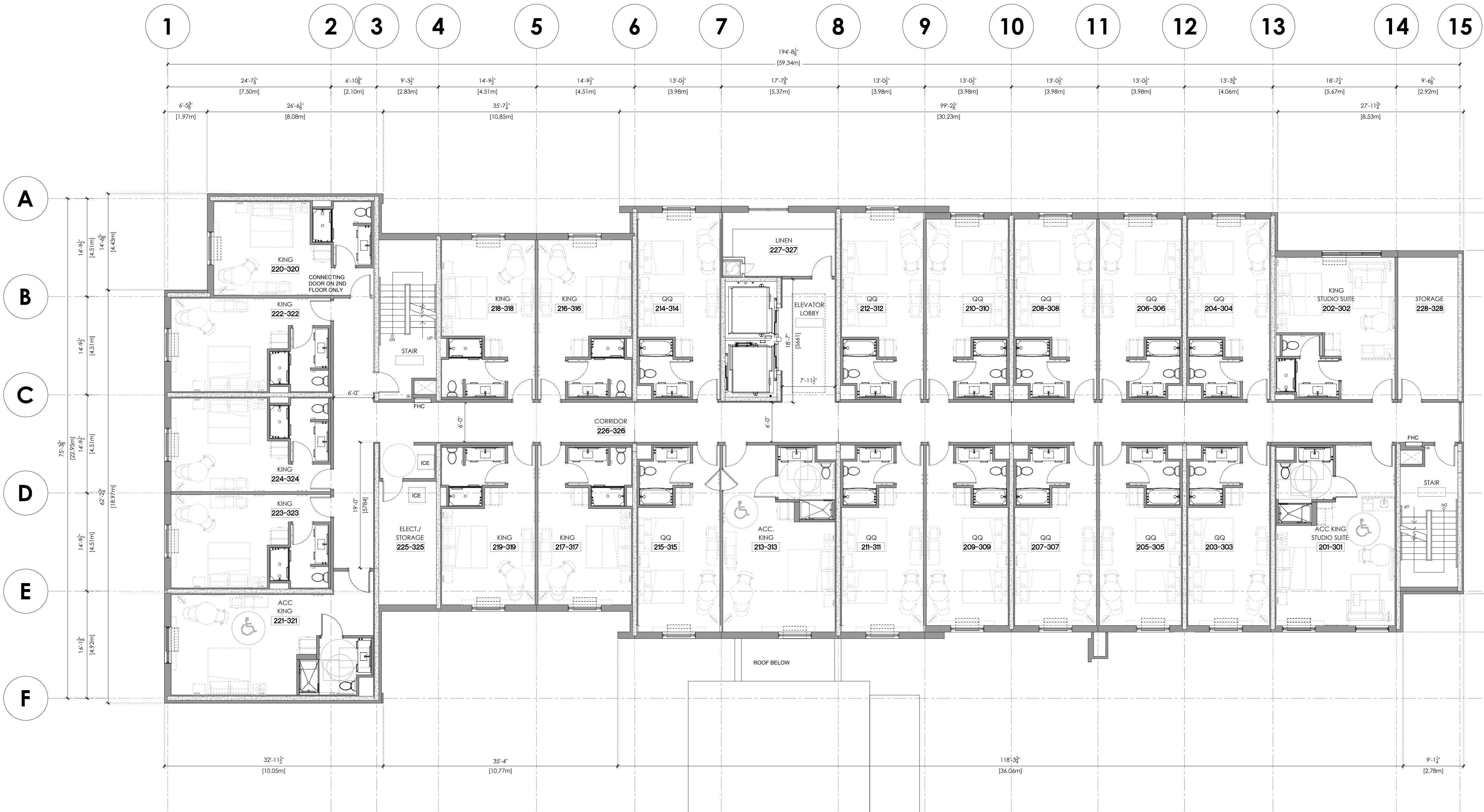
[illegible]

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- **USE LATEST REVISED DRAWINGS, DO NOT SCALE DRAWINGS.**

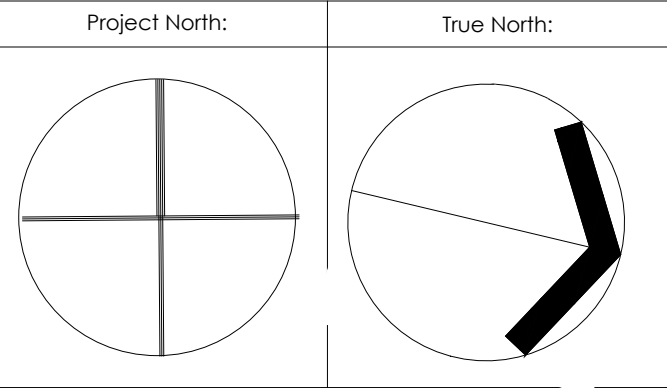
<p>WORK IN PROGRESS</p>	<p> MATAJ ARCHITECTS INC.</p>
<p>Architect's Stamp</p> <div><p>MATAJARCHITECTS INCORPORATED</p><p>206-418 Iroquois Shore Rd Oakville, Ontario L6H 0X7 T.905.281.4444</p></div>	
<p>Project:</p> <p>HAMPTON INN OWEN SOUND</p> <p></p> <p>1750 16TH AVENUE EAST, OWEN SOUND, ON N4K 5N3</p>	

Sheet Title:			
SITE STATISTICS & SITE DETAILS			
Design By:	Drawn By:	Approved By:	
MA/AB	AB	AM	
Scale:	Date:	Project No.:	
as shown	24/09/26		
Drawing No:			
ASP-03			
Drawing Series:			
REZONING APPLICATION			





HAMPTON INN - ROOM MIX								
	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	TOTAL	MIX
KING	8	8	8	8	8	40	54	45%
ACC. KING	2	2	1	1	1	7		
KING STUDIO SUITE	1	1	1	1	1	5		
ACC. KING STUDIO SUITE	1	1	0	0	0	2		
QQ	12	12	12	12	12	60	66	55%
ACC. QQ	0	0	1	1	1	3		
QQ STUDIO SUITE	0	0	1	1	1	3		
TOTAL ROOM PER FLOOR	24	24	24	24	24	120	120	100%
TOTAL ACC. ROOM	3	3	2	2	2	12	12	10%
TOTAL STUDIOS	2	2	2	2	2	10	10	8%



Drawing Issues/Revisions:			
2	24/10/29	Issued for Rezoning Application	AB
1	24/10/23	Issued for Brand SD submission	AB
No.	Date:	Issue/Revision	By:

Note:

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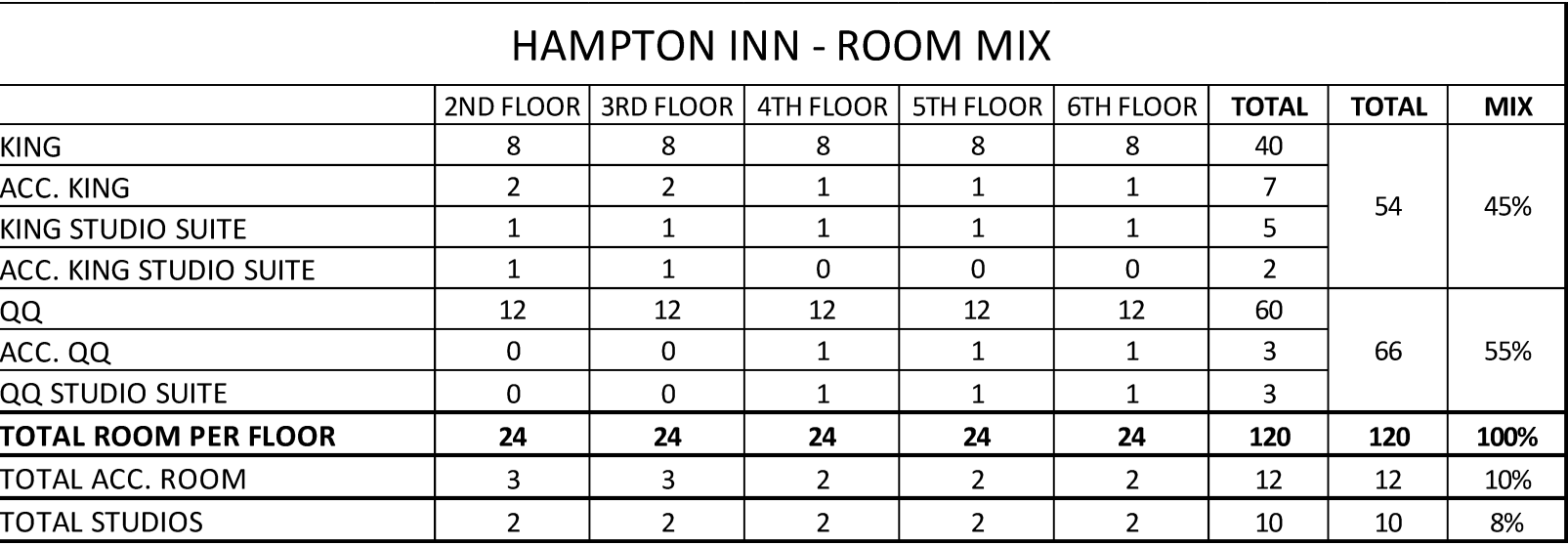


Project:
HAMPTON INN OWEN SOUND

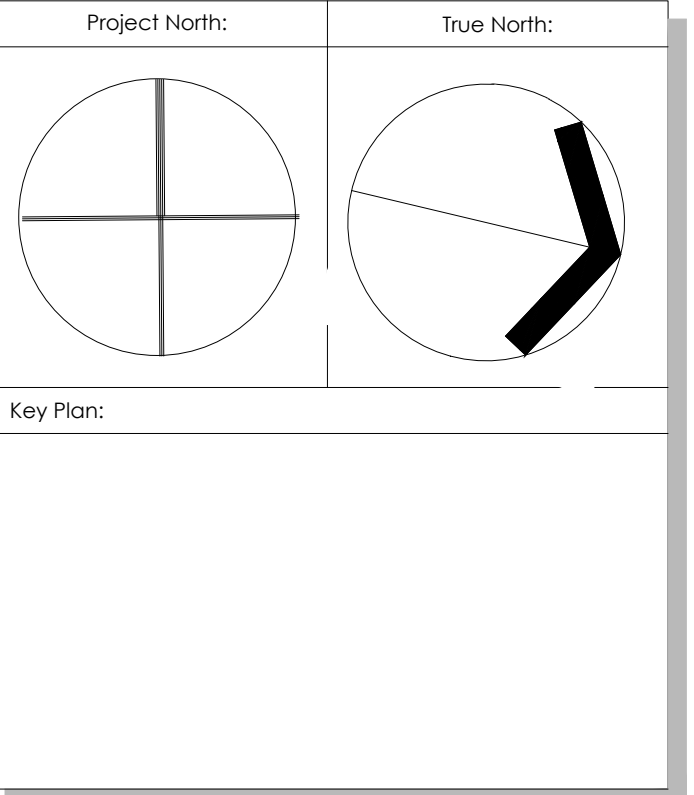
1750 16TH AVENUE EAST, OWEN SOUND, ON N4K 5N3

Sheet Title:
2ND - 3RD FLOOR PLAN

Design By: A.B	Drawn By: A.B	Approved By: E.M
Scale: 1:100	Date: 24-10-01	Project No.:



Drawing Series:
REZONING APPLICATION



Note:

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Sheet Title:		
<h1>ROOF PLAN</h1>		
Design By: A.B	Drawn By: A.B	Approved By: E.M
Scale: 1:100	Date: 24-10-01	Project No.:
Drawing No: <h1>A.204</h1>		
Drawing Series: <h2>REZONING APPLICATION</h2>		

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
1	EIFS SYSTEM, GEMSTONE FINISH BY STO	LIGHT DOLOMITE WHITE
2	FIBERCEMENT PANEL BY EQUITONE, LINEAR 30	GREY
3	EIFS SYSTEM, REGULAR FINISH	GREY
4	EIFS SYSTEM, REGULAR FINISH	KENDAL CHARCOAL BM

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
5	EIFS SYSTEM, SMOOTH FINISH	RUST BM 2175-30
6	EIFS SYSTEM, SMOOTH & METALLIC FINISH	WHITE
7	4"x4" EIFS FIN	WHITE
8	ACM PANEL WITH GRAY REVEAL, SM CLADDING SOLUTIONS	BLACK
9	2"H x 3"W EIFS FIN, SMOOTH METALLIC FINISH	WHITE

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
10	ACM PANEL BY SM CLADDING	CHARCOAL
11	ACM PANEL BY SM CLADDING	BONE WHITE
12	$\frac{5}{8}$ " TEMPERED GLASS OR AS RECOMMENDED BY SUPPLIER	CLEAR
13	2x2 ACM FIN	RUST BM 2175-30
14	AUTOMATED FRAMELESS GLASS DOOR	CLEAR GLASS WITH ETCHED PATTERN

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
15	RECESSED 2" CONT. LED LIGHTING WITH WHITE LENS FLUSH MOUNTED	3000K COLOR
16	ILLUMINATED SIGNAGE	DOLOMITE WHITE, 2015-1L
17	LED WALL SCONCE, MEDIUM SIZE	BLACK FIXTURE, 3000K
18	LED 2x2 POT LIGHT	CHARCOAL RIM, 3000K

SPECIAL INSTRUCTIONS	
A	TYPICAL FINISH (W/S" RIGID INSULATION)
B	2" RECESSED FROM LEVEL A
C	4" PROJECTION FROM LEVEL A
D	9" PROJECTION FROM LEVEL A
E	3" RECESSED FROM LEVEL A



Key Plan:

2	24/10/29	Issued for Rezoning Application	AB
1	24/10/23	Issued for Brand SD submission	AB

No.	Date:	Issue/Revision	By:
-----	-------	----------------	-----

Drawing Issues/Revisions:

Note:
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Architect's Stamp



Project:
HAMPTON INN OWEN SOUND

1750 16TH AVENUE EAST, OWEN SOUND, ON N4K 5N3

Sheet Title:
WEST ELEVATION

Design By: MA/AB	Drawn By: AB	Approved By: AM
Scale: 1:100	Date: 24/09/26	Project No.:

Drawing No:
A.302
Drawing Series:
REZONING APPLICATION

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
1	EIFS SYSTEM, GEMSTONE FINISH BY STO	LIGHT DOLOMITE WHITE
2	FIBERCEMENT PANEL BY EQUITONE, LINEAR 30	GREY
3	EIFS SYSTEM, REGULAR FINISH	GREY
4	EIFS SYSTEM, REGULAR FINISH	KENDAL CHARCOAL BM

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
5	EIFS SYSTEM, SMOOTH FINISH	RUST BM 2175-30
6	EIFS SYSTEM, SMOOTH & METALLIC FINISH	WHITE
7	4"x4" EIFS FIN	WHITE
8	ACM PANEL WITH GRAY REVEAL, SM CLADDING SOLUTIONS	BLACK
9	2"H x 3"W EIFS FIN, SMOOTH METALLIC FINISH	WHITE

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
10	ACM PANEL BY SM CLADDING	CHARCOAL
11	ACM PANEL BY SM CLADDING	BONE WHITE
12	5/8" TEMPERED GLASS OR AS RECOMMENDED BY SUPPLIER	CLEAR
13	2x2 ACM FIN	RUST BM 2175-30
14	AUTOMATED FRAMELESS GLASS DOOR	CLEAR GLASS WITH ETCHED PATTERN

EXTERIOR FINISH SCHEDULE		
MATERIAL/FINISH		COLOR
15	RECESSED 2" CONT. LED LIGHTING WITH WHITE LENS FLUSH MOUNTED	3000K COLOR
16	ILLUMINATED SIGNAGE	DOLOMITE WHITE, 2015-1L
17	LED WALL SCONCE, MEDIUM SIZE	BLACK FIXTURE, 3000K
18	LED 2x2 POT LIGHT	CHARCOAL RIM, 3000K

SPECIAL INSTRUCTIONS	
A	TYPICAL FINISH (W/5" RIGID INSULATION)
B	2" RECESSED FROM LEVEL A
C	4" PROJECTION FROM LEVEL A
D	9" PROJECTION FROM LEVEL A
E	3" RECESSED FROM LEVEL A

[illegible]

2	24/10/29	Issued for Rezoning Application	AB
1	24/10/23	Issued for Brand SD submission	AB

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:

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Project:

HAMPTON INN OWEN SOUND



**1750 16TH AVENUE EAST, OWEN SOUND,
ON N4K 5N3**

Sheet Title:

NORTH ELEVATION

Design By: MA/AB	Drawn By: AB	Approved By: AM
Scale: 1:100	Date: 24/09/26	Project No.:

Drawing No:

A.303

Drawing Series: **REZONING APPLICATION**



Key Plan:

[illegible]

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Project:

HAMPTON INN OWEN SOUND



**1750 16TH AVENUE EAST, OWEN SOUND,
ON N4K 5N3**

Sheet Title:

3D PERSPECTIVES

Design By: MA/AB	Drawn By: AB	Approved By: AM
Scale: N.T.S.	Date: 24/09/26	Project No.:

Drawing Series:
REZONING APPLICATION



1 MARCH 21ST @ 10:00 AM
SS-01 1 : 1500

LEGEND

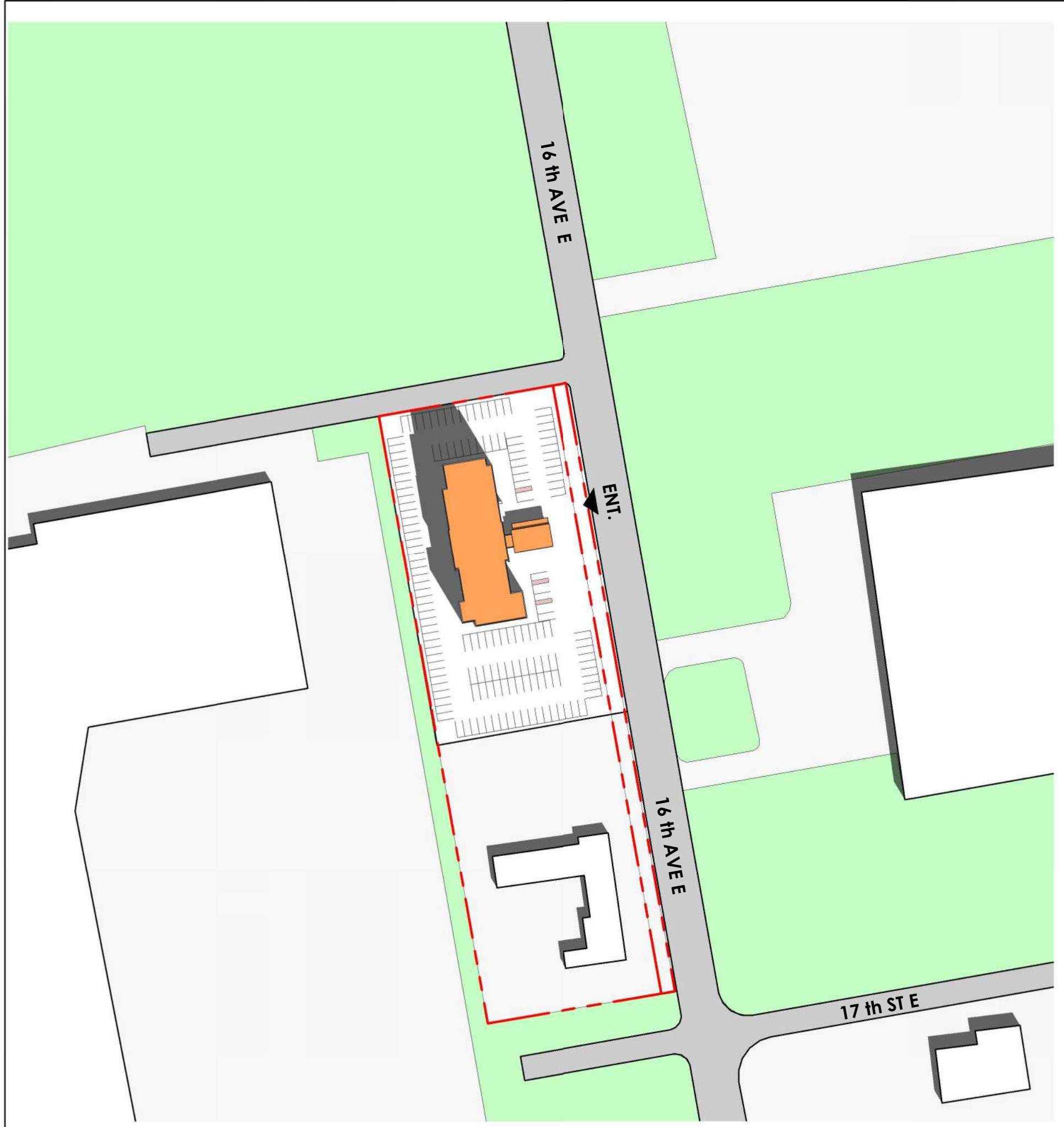
PROPOSED BUILDING

EXISTING BUILDINGS

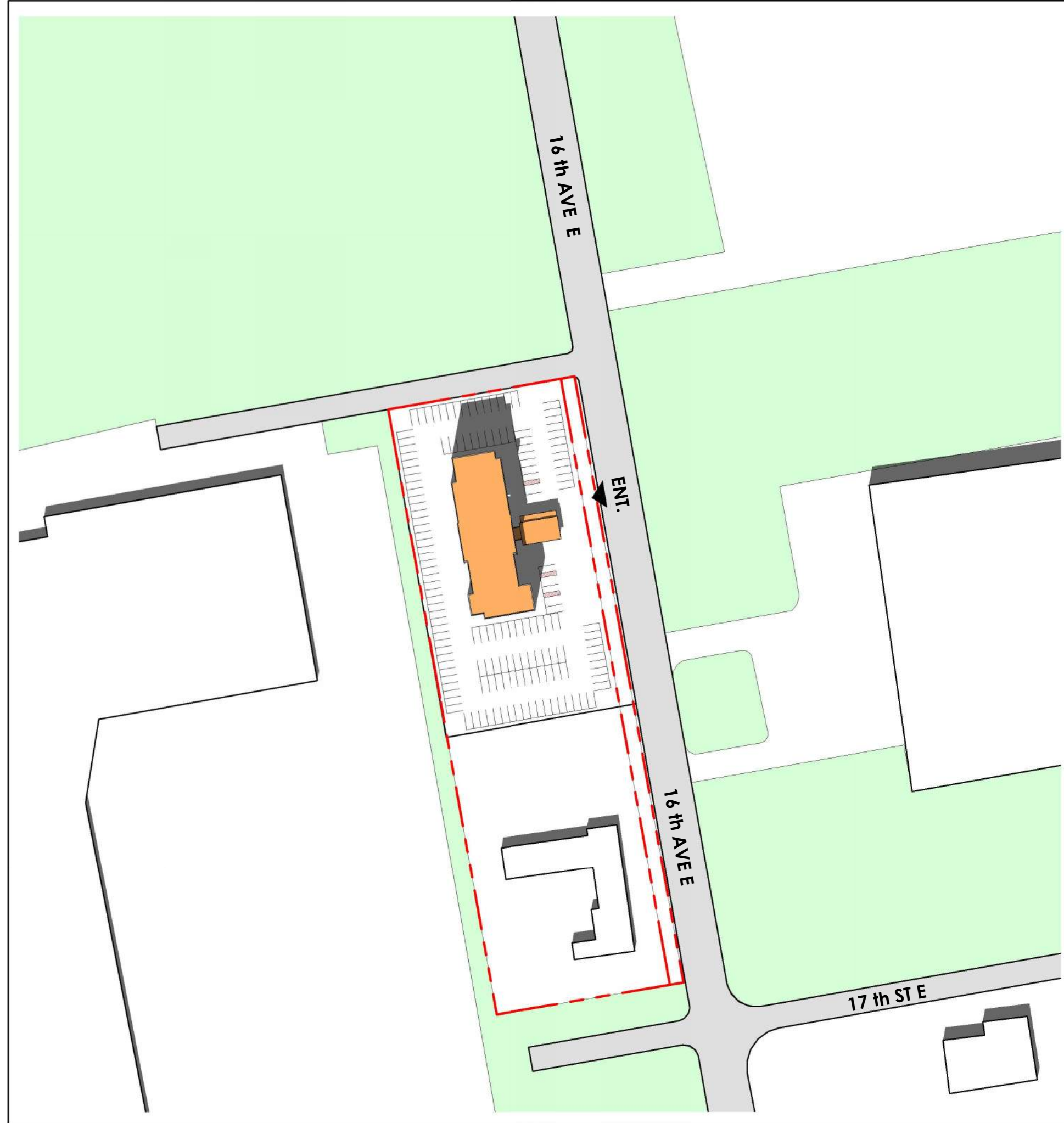
SHADOWS

LANDSCAPE

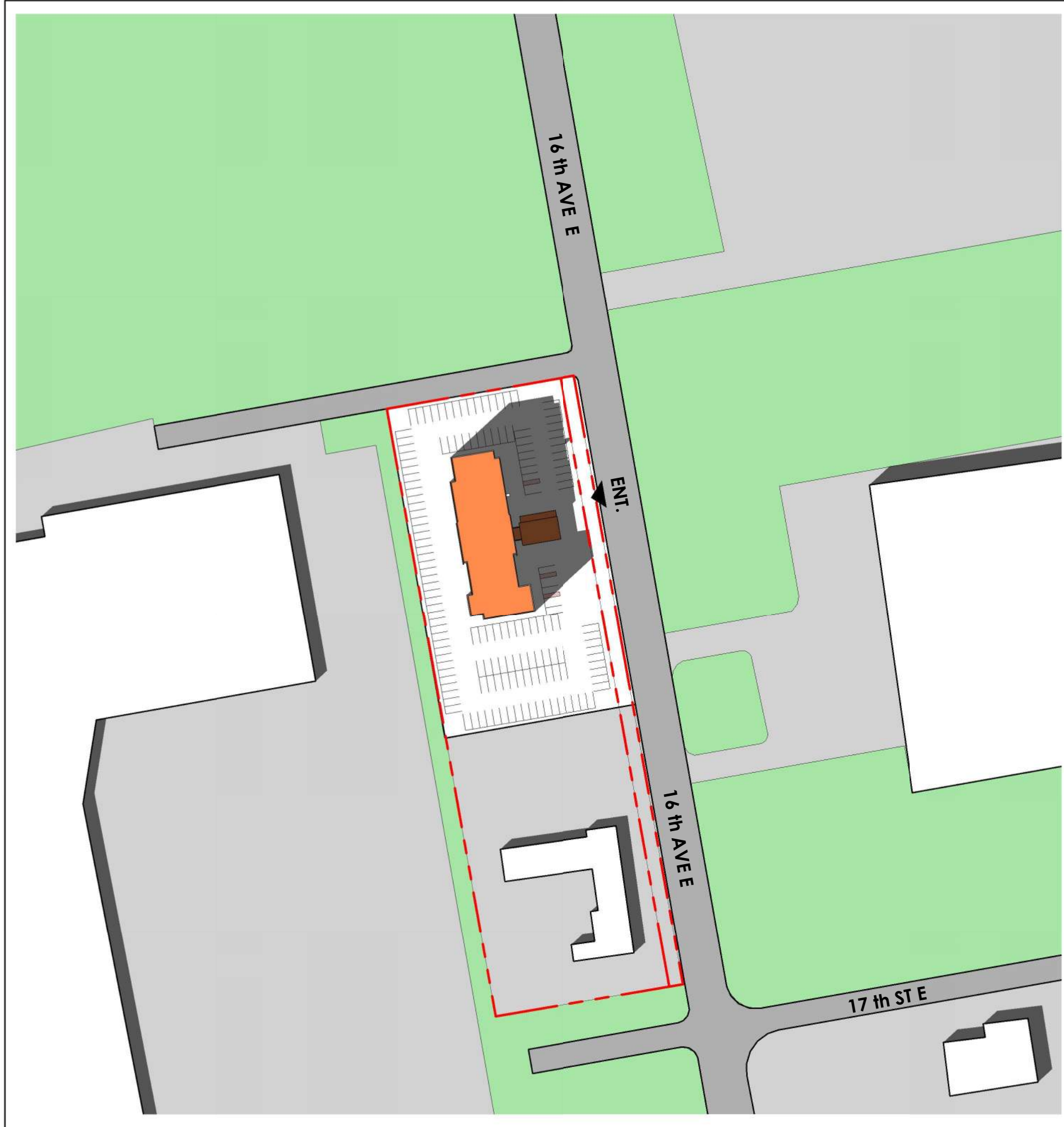
PROPERTY LINE



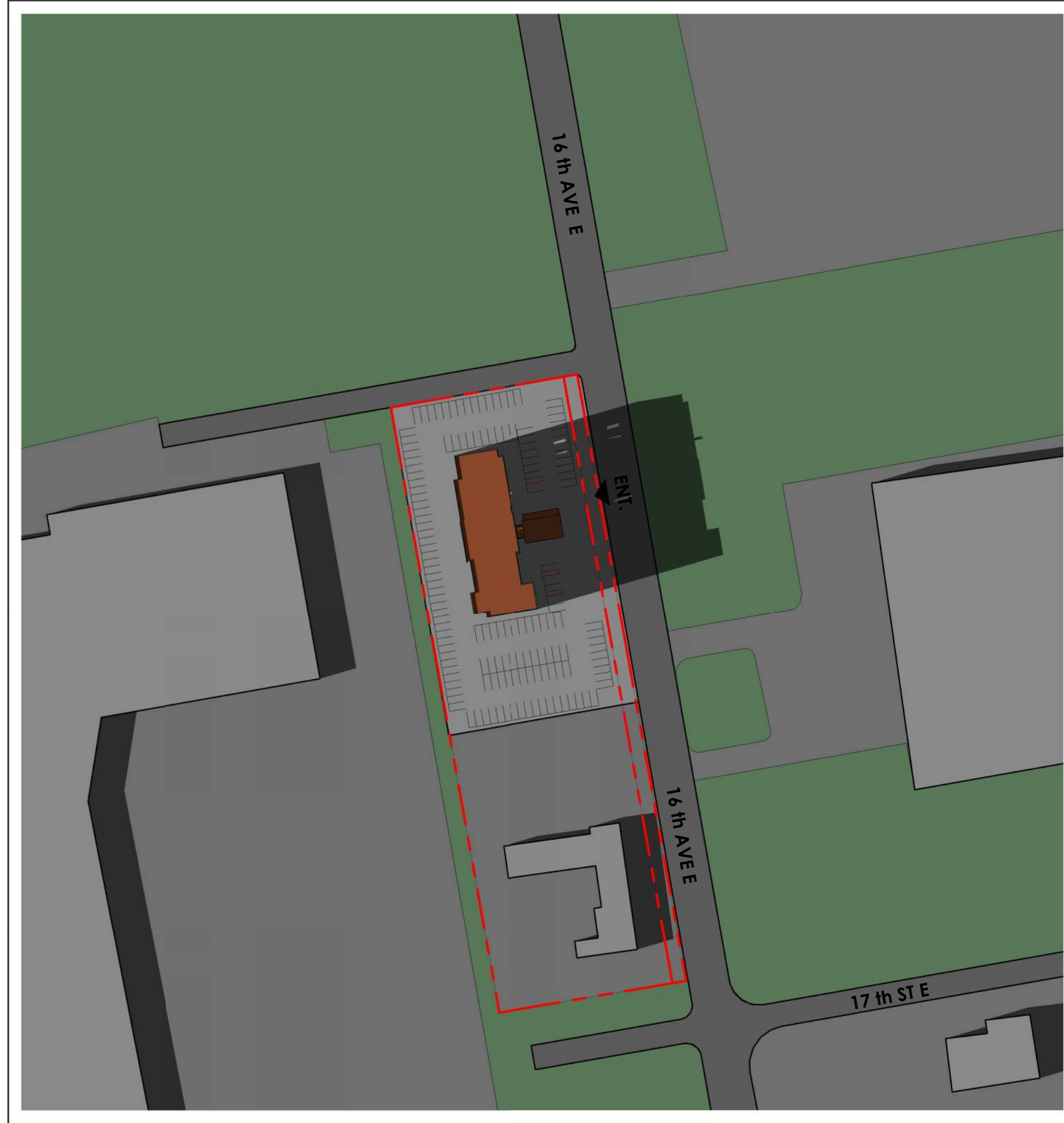
2 MARCH 21ST @ 12:00 PM
SS-01 1 : 1500



3 MARCH 21ST @ 2:00 PM
SS-01 1 : 1500



4 MARCH 21ST @ 4:00 PM
SS-01 1 : 1500



5 MARCH 21ST @ 6:00 PM
SS-01 1 : 1500

Project North:

True North:

SPA FILE NO. -

REV	DATE	DESCRIPTION	AB	BY
1	2024/10/29	Issued for Rezoning Application	AB	

Drawing Issues/Revisions:

Note:
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ONTARIO ASSOCIATION
OF
ARCHITECTS
MEMBER
ETLEVA GURARUJI MATAJ
LICENCE
7809

MATAJ
ARCHITECTS INC

Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED
418 Iroquois Shore Road, Unit 206,
Oakville, Ontario
L4H 0X7
T. 905.281.4444

Project:
HAMPTON INN, OWEN SOUND

Hampton
Inn

1750 16th Ave E, Owen Sound, ON N4K
5N3

Sheet Title:
SHADOW STUDY - MARCH 21ST

Design By:
MAI

Drawn By:
TV/ KS

Approved By:
EM

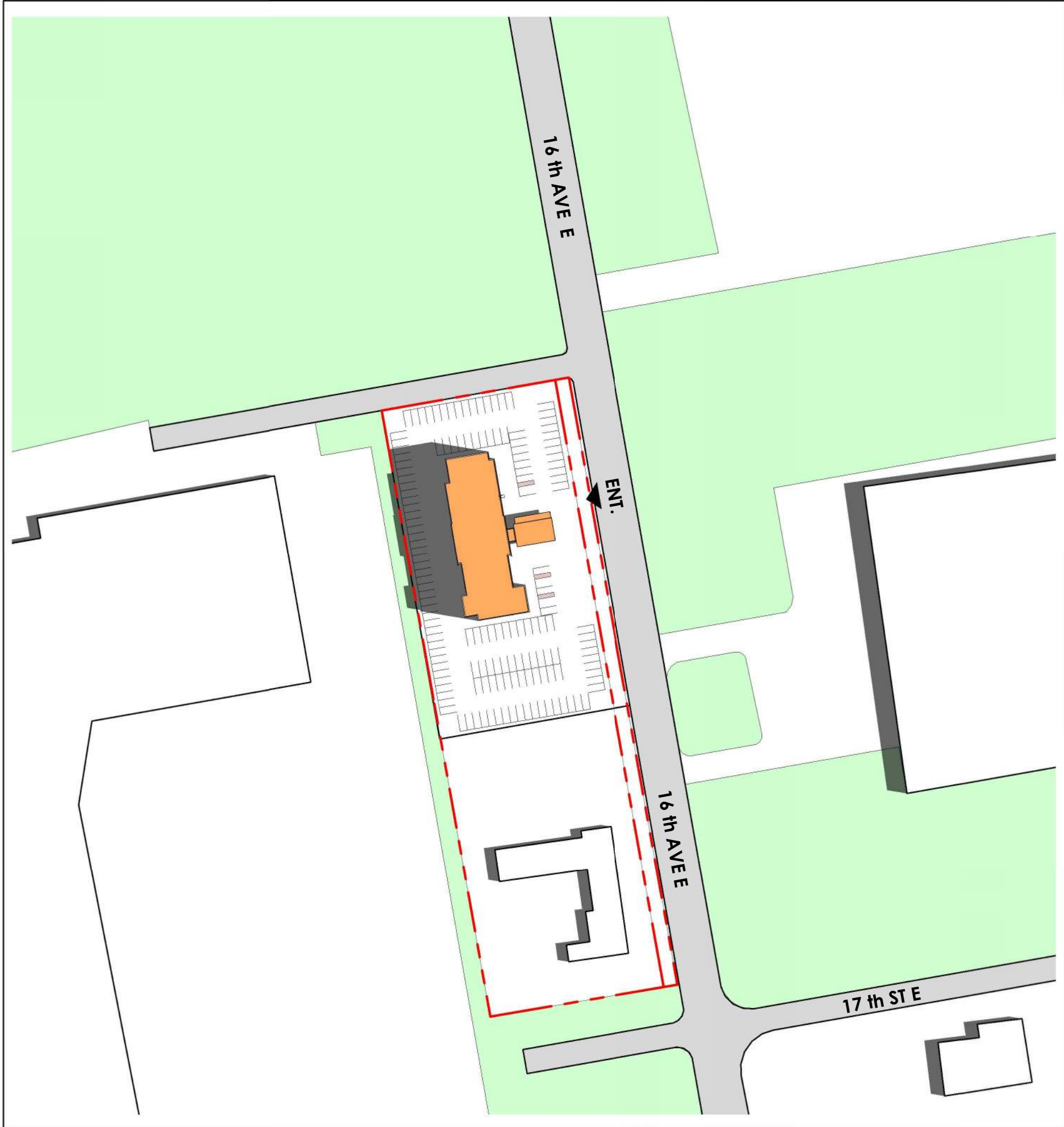
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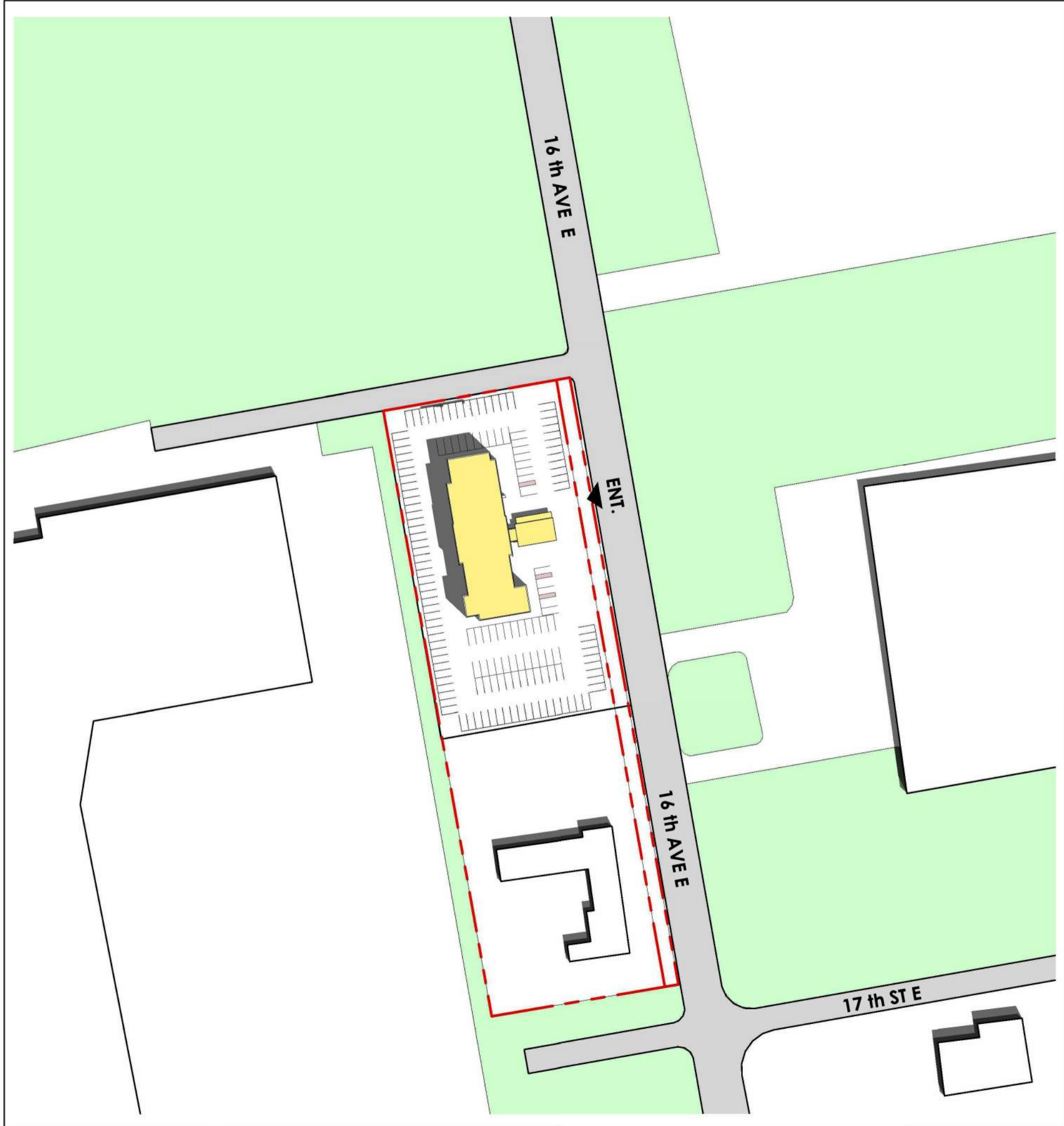
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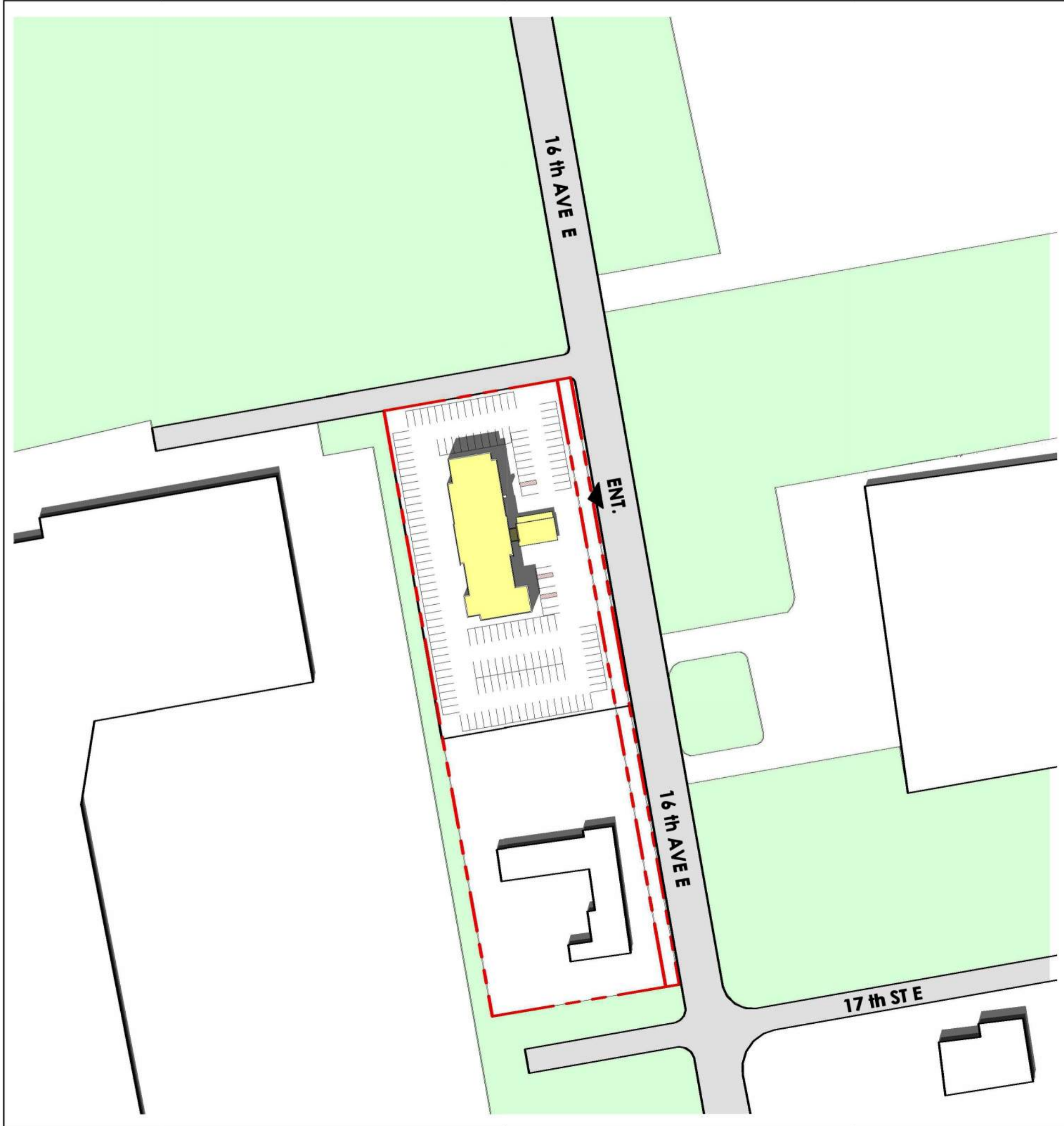
SHADOWS

LANDSCAPE

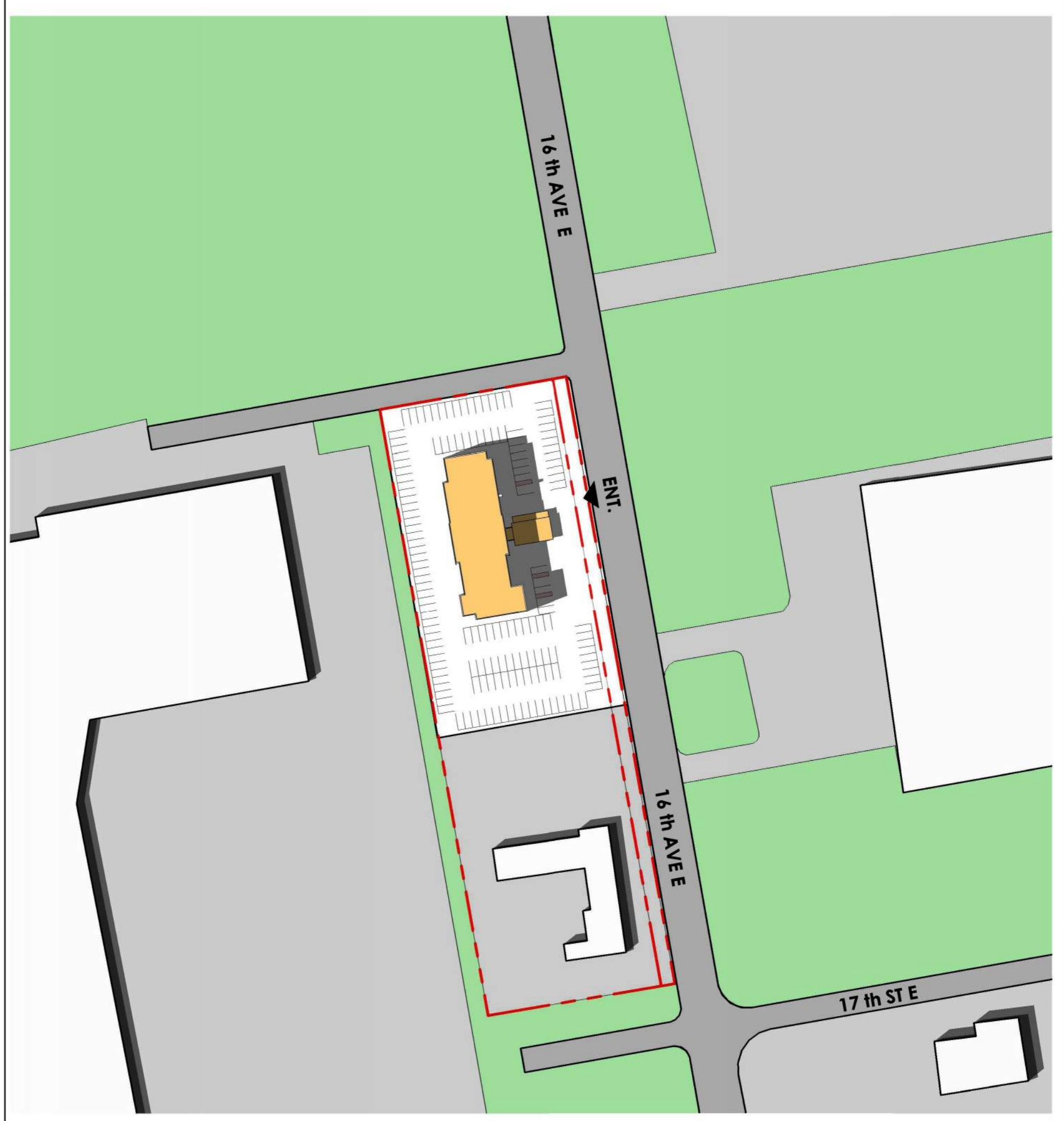
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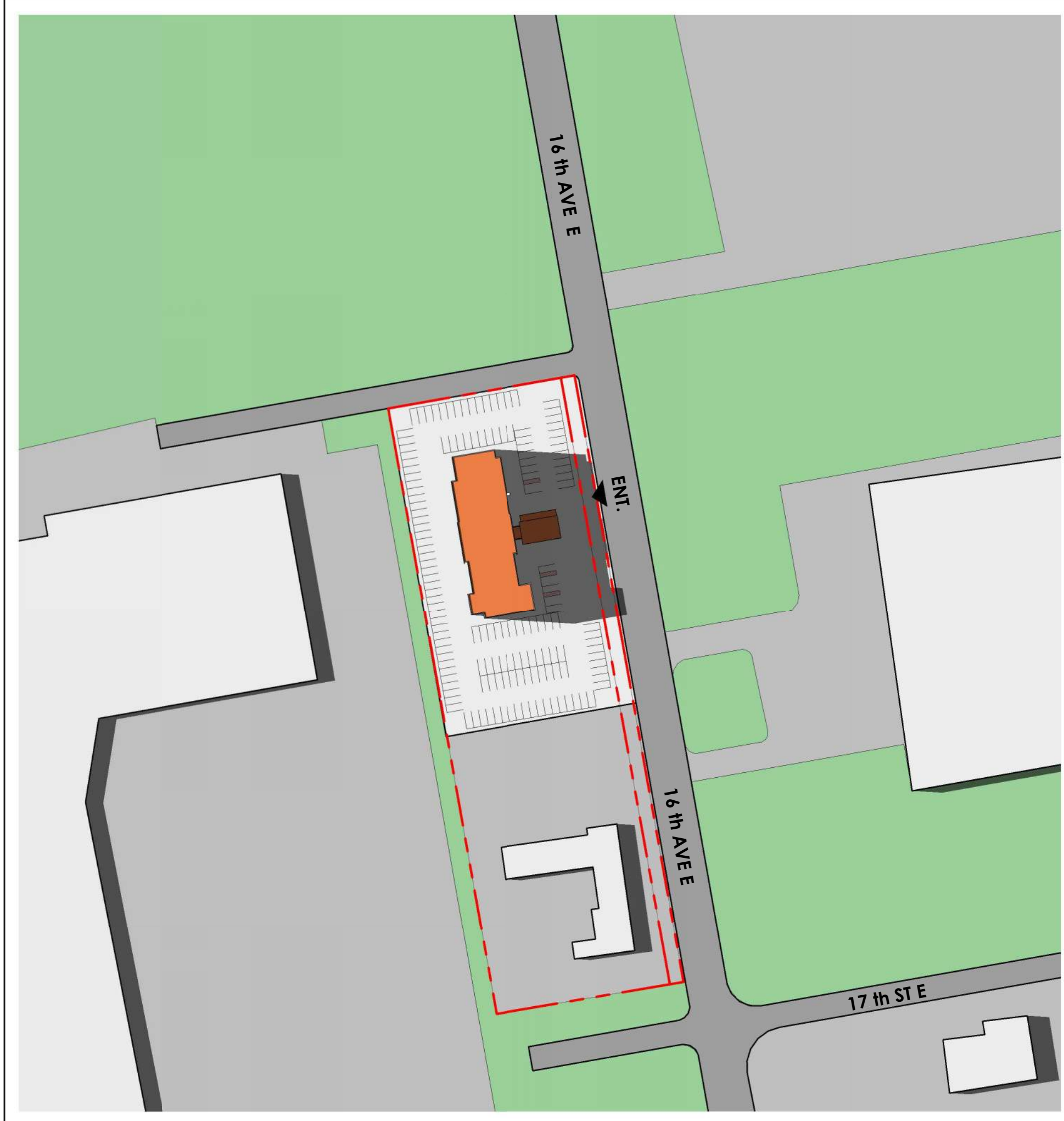
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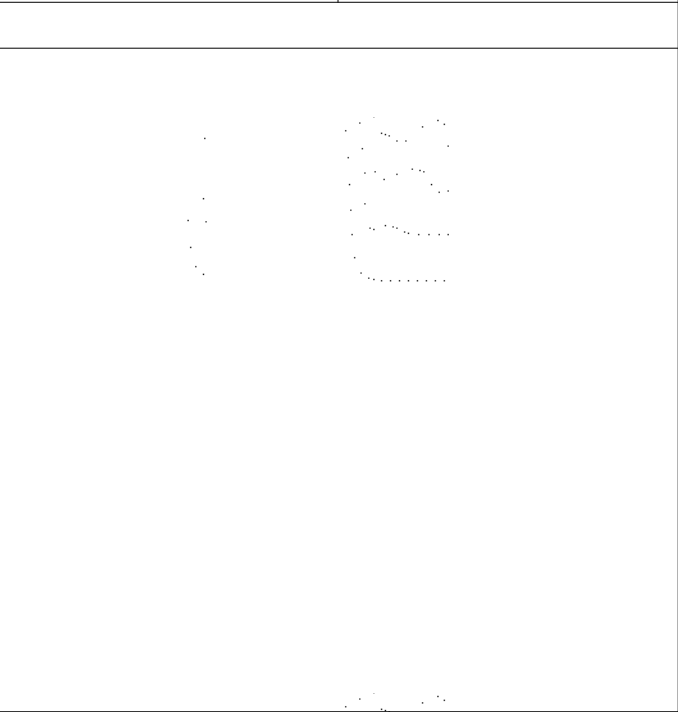


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MATAJ ARCHITECTS
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Project:
HAMPTON INN, OWEN SOUND



1750 16th Ave E, Owen Sound, ON N4K 5N3

Sheet Title:
SHADOW STUDY - JUNE 21ST

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Scale: As indicated	Date: 24/09/26	Project No.: 24-010

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Of:

Drawing Series:
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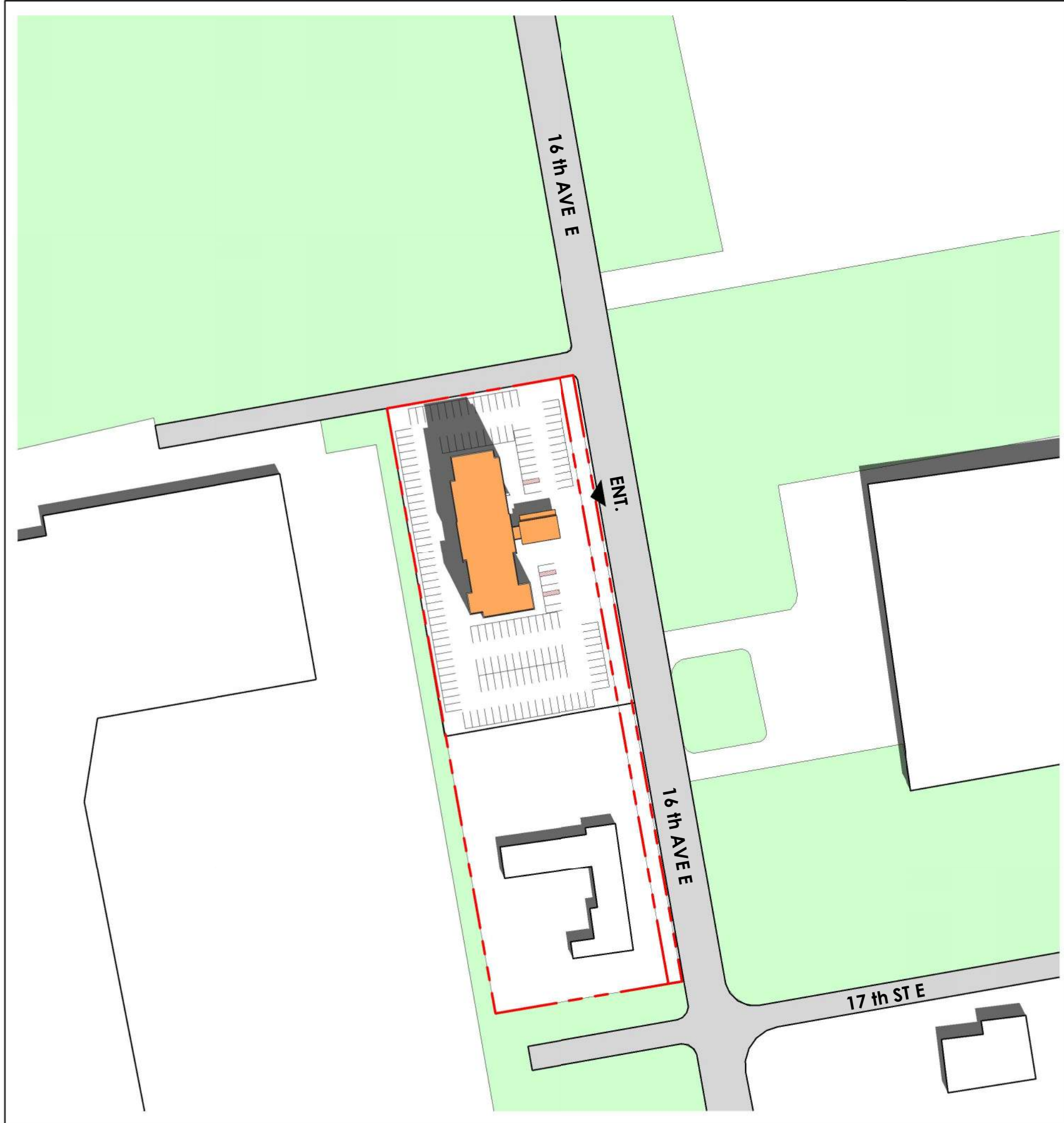
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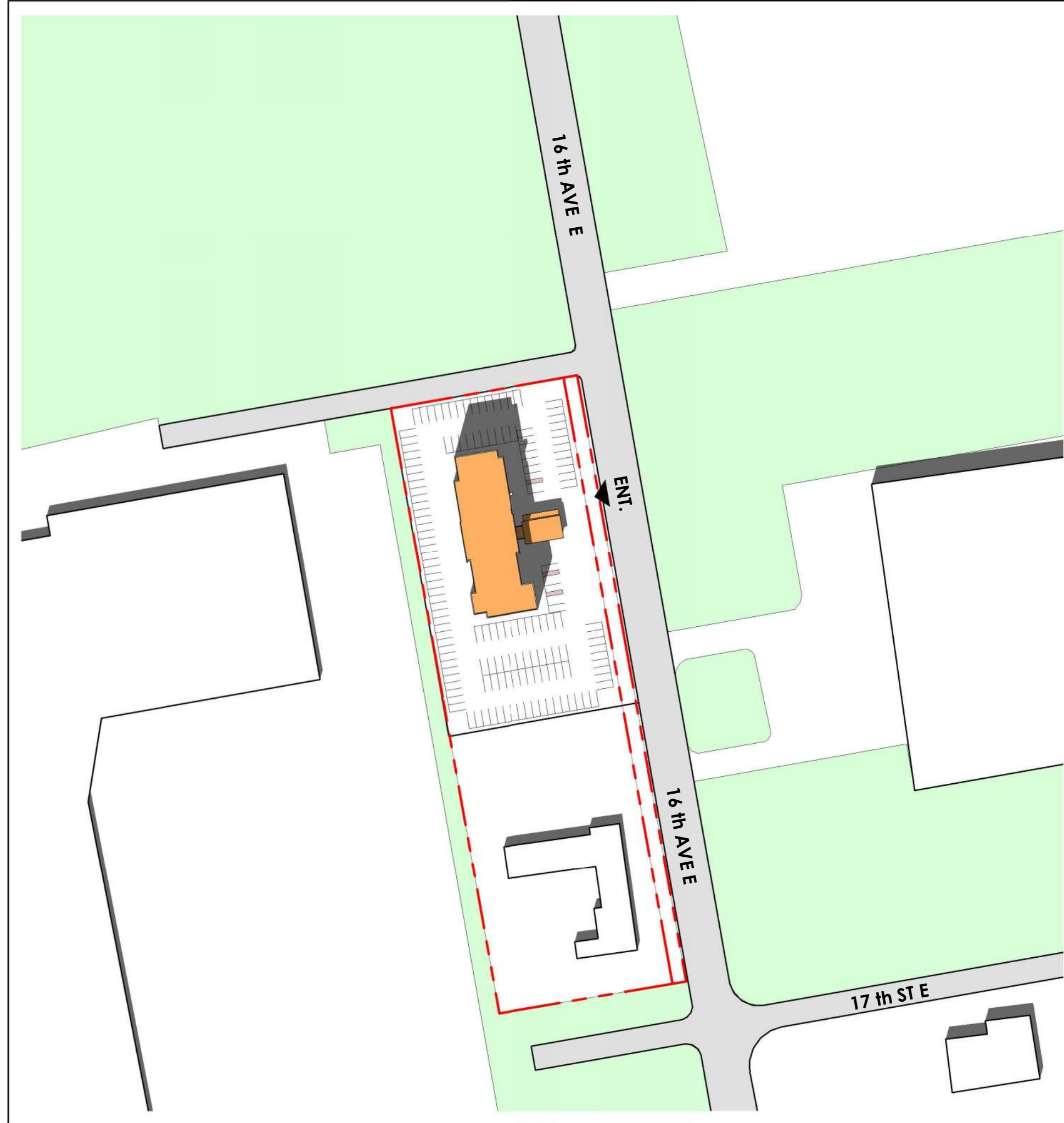
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LANDSCAPE

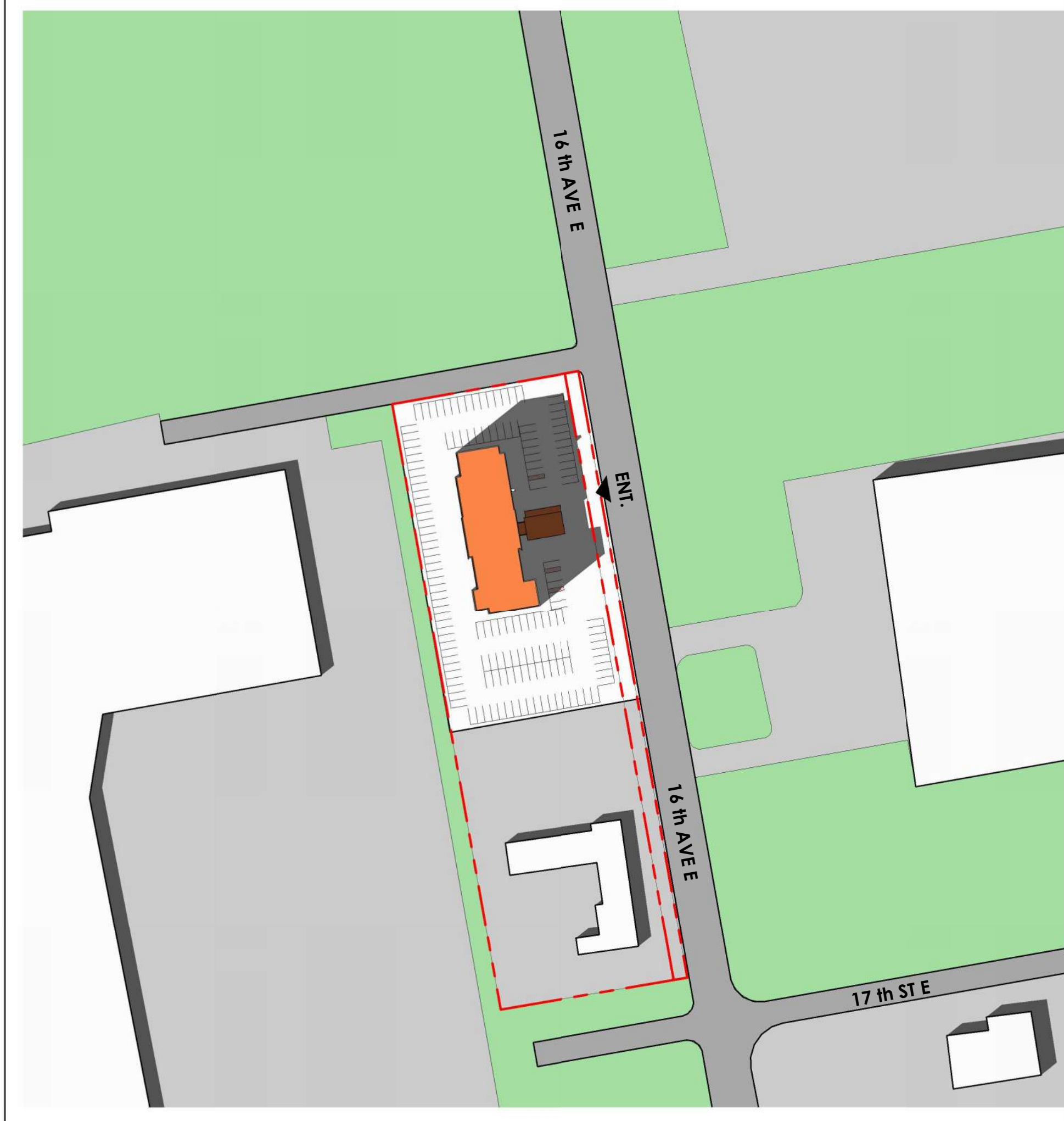
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Hampton Inn

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Sheet Title:

SHADOW STUDY - SEPTEMBER 21ST

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MAI	TV	EM
Scale:	Date:	Project No.:
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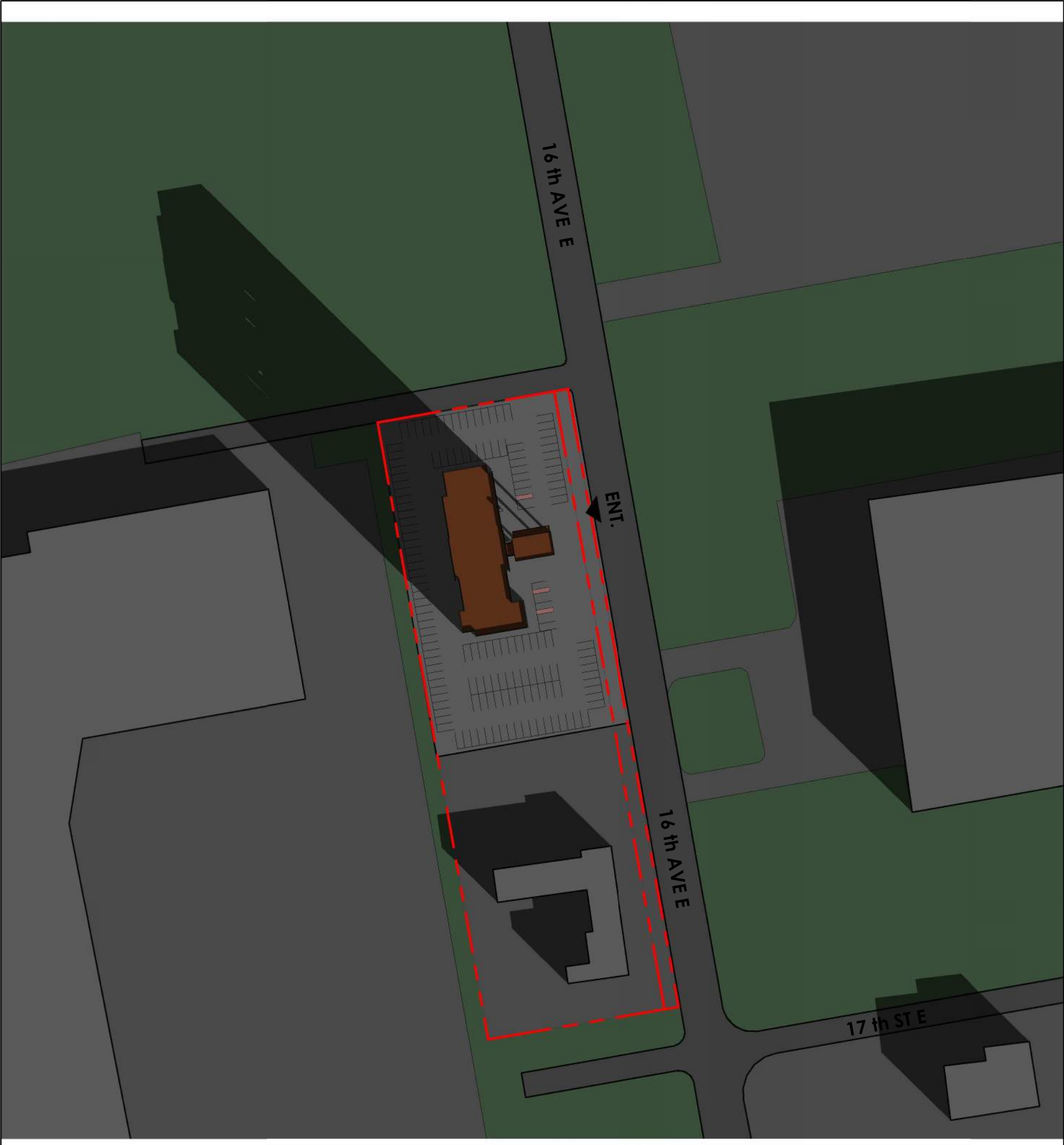
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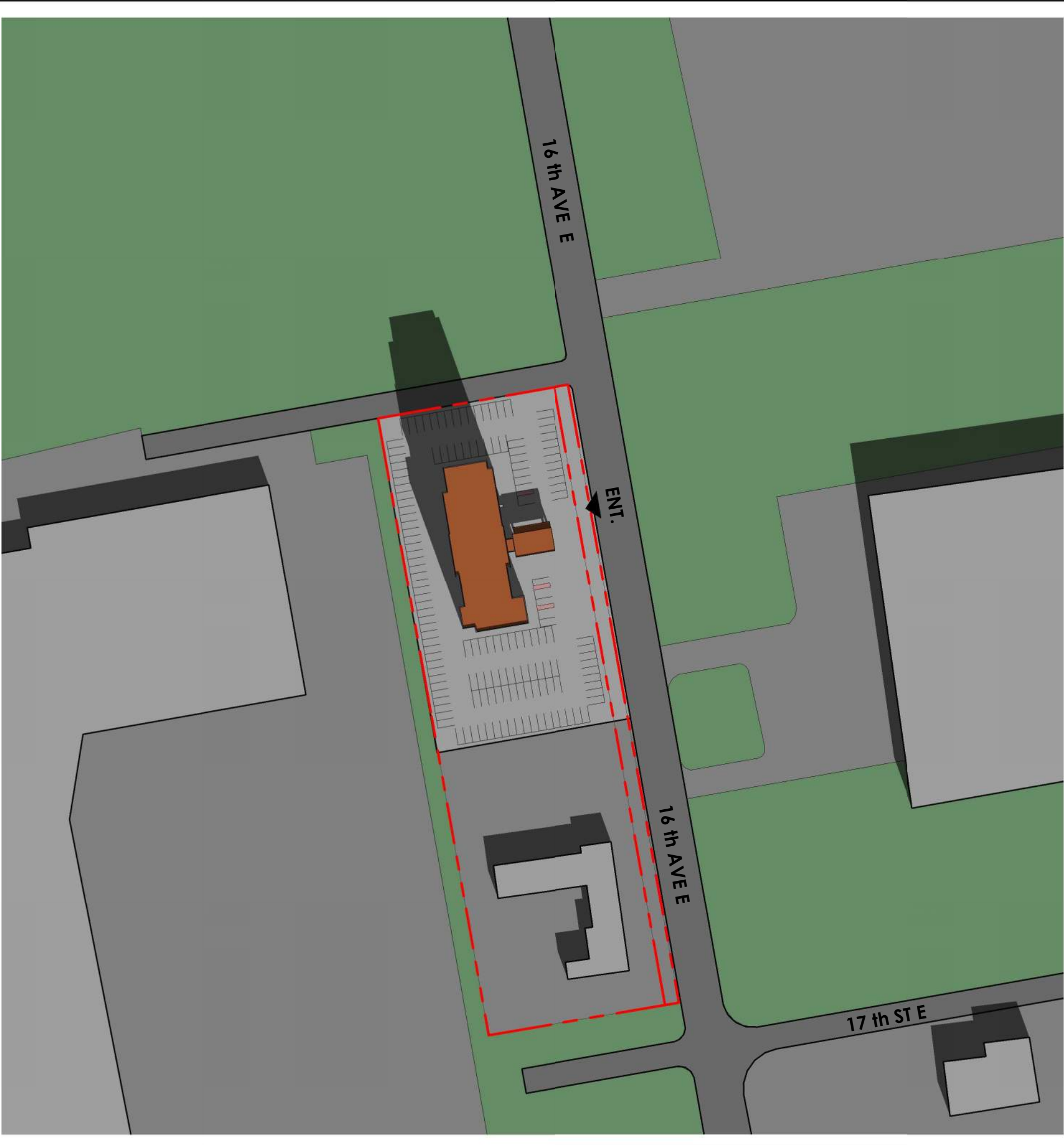
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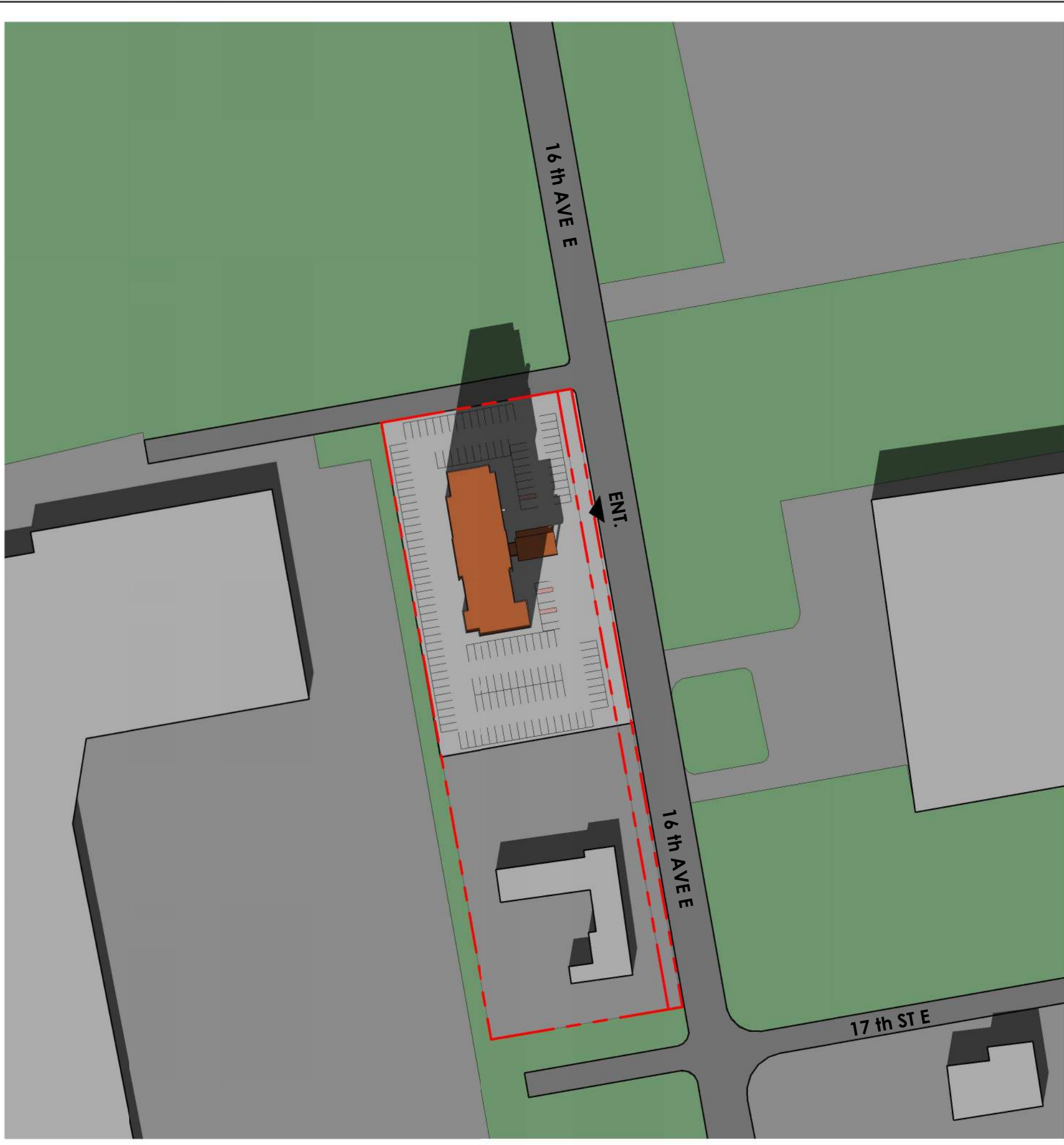
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LEGEND

PROPOSED BUILDING

EXISTING BUILDINGS

SHADOWS

LANDSCAPE

PROPERTY LINE

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Hampton Inn

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Sheet Title:

SHADOW STUDY - DECEMBER 21ST

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MAI

Drawn By:

TV

Approved By:

EM

Scale:

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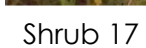
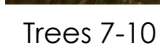
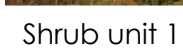
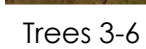
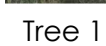
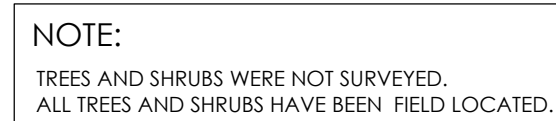
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NOTE:
Vegetation inventory undertaken by adesso design
inc on October 8th, 2024.

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PROJECT
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1750 16th Ave E

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Tree Protection Plan

L-1

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landscape architecture



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Tree #	Species (Common Name)	Species (Botanical Name)	DBH (cm)	Crown Class*	Condition**	Crown Width (m)	Comments	Potential Impacts from Construction	Ownership (Trees were not surveyed; all trees are field located)	Recommendation
1	Colorado Blue Spruce	Picea pungens	34	D	Fair	2.85	Some damage due to branches being cut for adjacent overhead wires and pruning at base		Neighbouring (Private)	Save
2	American Elm	Ulmus americana	38	D	Good	4		Conflict with proposed driveway entrance	Private (within future road widening)	Remove
3	American Elm	Ulmus americana	26	CD	Fair	2.3	Uneven canopy	Grading within rootzone for multi-use path and regrading of roadside ditch	Private (within future road widening)	Remove
4	American Elm	Ulmus americana	21	CD	Fair	1.5	Uneven canopy	Grading within rootzone for multi-use path and regrading of roadside ditch	Municipal	Remove
5	American Elm	Ulmus americana	15	S	Fair	1.5	Uneven canopy	Grading within rootzone for multi-use path and regrading of roadside ditch	Municipal	Remove
6	American Elm	Ulmus americana	17, 12, 24, 22	CD	Fair	3.5	Trunk splits at base	Grading within rootzone for multi-use path and regrading of roadside ditch	Boundary (Municipal)	Remove
7	American Elm	Ulmus americana	17	D	Poor/Dying	2	Tree is in poor condition, dead branches	Grading within rootzone for multi-use path and regrading of roadside ditch	Boundary (Municipal)	Remove
8	American Elm	Ulmus americana	14	CD	Fair	2.5	Some damage to canopy, some dead branches	Grading within rootzone for multi-use path and regrading of roadside ditch	Municipal	Remove
9	American Elm	Ulmus americana	13	CD	Fair	1.6	Uneven canopy	Grading within rootzone for multi-use path and regrading of roadside ditch	Municipal	Remove
10	American Elm	Ulmus americana	17	CD	Fair	1.6	Uneven canopy	Grading within rootzone for multi-use path and regrading of roadside ditch	Municipal	Remove
Shrub #	Species (Common Name)	Species (Botanical Name)	Spread (m)	Height (m)			Comments	Potential Impacts from Construction	Ownership (Shrubs were not surveyed; all shrubs are field located)	Recommendation
11	Common Buckthorn	Rhamnus cathartica	1.5	2			Invasive species	Conflict with proposed parking lot	Private	Remove
12	Common Buckthorn	Rhamnus cathartica	2.4	4			Invasive species	Invasive species to be removed	Municipal	Remove
13	Dogwood	Cornus sp.	1.87	2.2				Invasive species to be removed	Private (within future road widening)	Remove
14	Common Buckthorn	Rhamnus cathartica	2.95	4.5			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
15	Common Buckthorn	Rhamnus cathartica	2	2			Invasive species	Invasive species to be removed	Municipal	Remove
16	Common Buckthorn	Rhamnus cathartica	1.5	2.5			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
17	Common Buckthorn	Rhamnus cathartica	5	4			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
18	Common Buckthorn	Rhamnus cathartica	1.5	1.5			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
19	Common Buckthorn	Rhamnus cathartica	1.75	3.5			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
20	Common Buckthorn	Rhamnus cathartica	2	3			Invasive species	Invasive species to be removed	Private (within future road widening)	Remove
UNIT 1	Common buckthorn	Rhamnus cathartica		4			Invasive species, 3-4 shrubs	Invasive species to be removed	Municipal	Remove
UNIT 2	Common buckthorn	Rhamnus cathartica		4			Invasive species	Invasive species to be removed	Municipal	Remove
UNIT 3	Common buckthorn	Rhamnus cathartica		3			Invasive species	Invasive species to be removed	Municipal	Remove

CONDITION OF TREES
The decision to remove or retain a tree is subject to the forecasted development impacts, the structural condition of the tree (e.g. cracks, cavities, decay, weak branching, leaning, hazard potential), the biological condition of the tree (e.g. pest or disease concerns, overall health) and the suitability of the tree in its location (e.g. hardness, soil conditions, salt tolerance, visual obstruction, available soil volume)

NOTE:
Written permission from the neighbouring property owner is required prior to removal or injury of any boundary tree(shared ownership) or any tree that is not fully on the subject property.

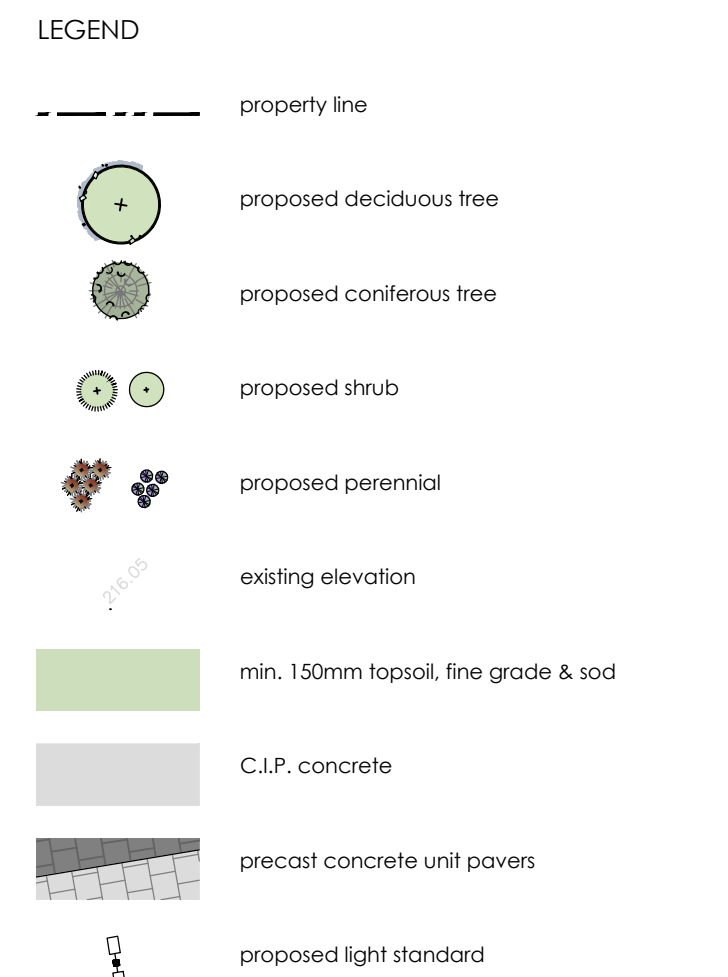
2. Note that boundary trees are protected under the Ontario Forestry Act. Boundary trees are defined in the Forestry Act (Section 10.2) and are considered shared or co-owned property. The Forestry Act indicates that it is a prosecutable offense for one co-owner to injure or cut down a boundary tree without the other co-owner's permission.
3. Written permission from the neighbouring property owner is required prior to removal or injury of any boundary tree (shared ownership) or any tree that is not fully on the subject property.
4. An ISA certified Arborist should be on site prior to any work being performed within the rootzone of a boundary or neighbouring tree to perform root pruning as required.

1. The Owner and Contractor must be aware of the Migratory Birds Convention Act, 1994 - specifically;
 - No free removal or construction activity shall contravene the Act.
 - Construction activities with the potential to harm migratory birds or their nest should be restricted from March 15 to August 31.
 - If work must occur during the migratory bird breeding season, a nest survey should be taken by a qualified avian biologist.
 - A mitigation plan (showing active nests and appropriate buffers) may be required for review and approval by the Canadian Wildlife Services.



N.T.S.

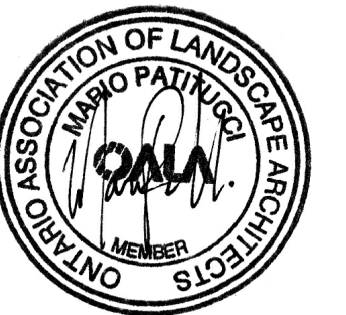
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PROJECT
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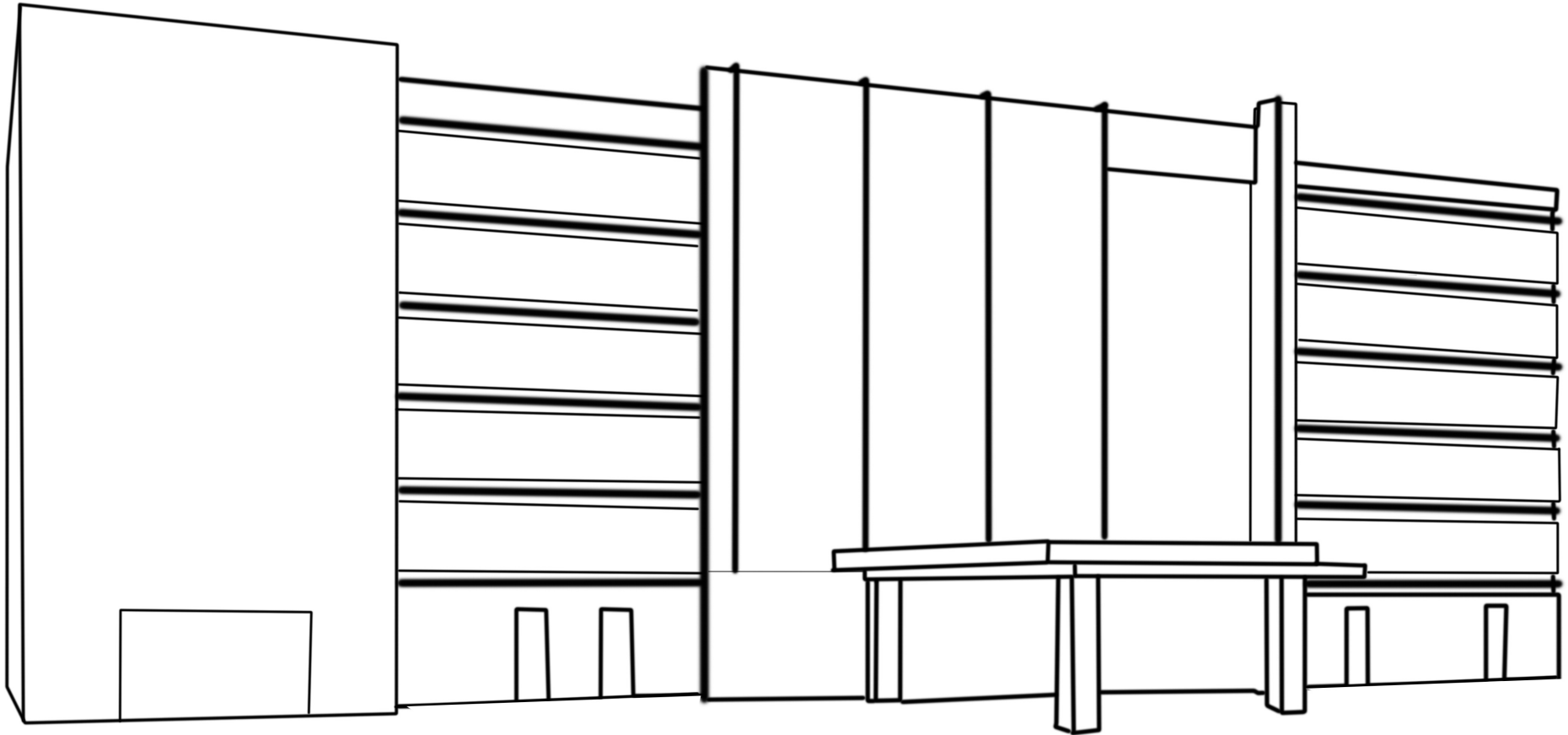
SHEET
Landscape Concept

L-1

adesso design inc.
landscape architecture



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URBAN DESIGN BRIEF

1750 16th Ave E, Owen Sound, ON N4K 5N3

PREPARED BY: MATAJ ARCHITECTS INC.

CITY FILE NUMBER:
REGIONAL NUMBER:
SUBMISSION NUMBER: 1

1750 16th Ave E, Owen Sound, ON N4K 5N3. Urban Design Brief/ OCTOBER 2024

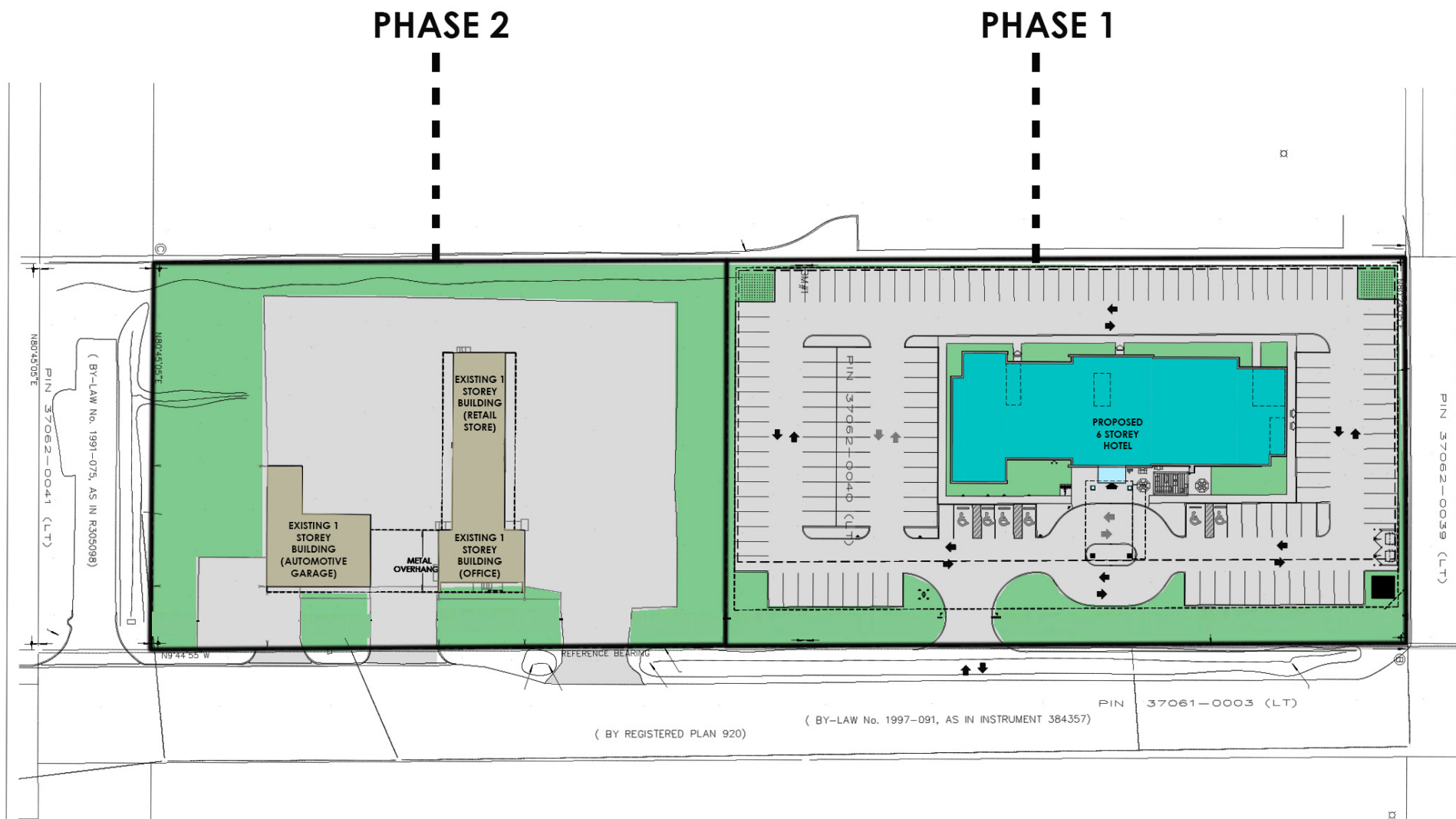


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1

BACKGROUND AND PURPOSE

1.1 SCOPE

Mataj Architects Inc. has been retained by Ibrahim Dossani (the “Client”) to prepare an Urban Design Brief for the development of the property municipally addressed as 1750 16th Ave E in the City of Owen Sound (the “Subject Site”). The purpose of the Urban Design Brief is to illustrate how the proposal has sought to facilitate the comprehensive development of the Subject Site to include a multi-phase residential development of varying heights and densities in accordance with the development goals of the City of Owen Sound. The Proposed Development will include the following:

- **Phase 1** consists of a 6 storey Hotel development containing 120 guestrooms and a total of a 152 parking lots.
- **Phase 2** is a future development of the existing building on the site.

For the Purpose of this study we will only be looking at Phase 1 of the site while maintaining the context of phase 2 as existing to remain.

1.2 PROPOSED DEVELOPMENT

A Site Plan Approval (“SPA”) application is required in order to facilitate the Proposed Development. An Urban Design Brief was identified as a requirement for this application as requested by the client. The Proposed Development will be implemented through two phases. The SPA application pertains to only Phase 1, as further detailed in Section 4 of this report.

1.3 REPORT CONTENT

Based on the matters for consideration and evaluation identified in the pre-submission consultation record, this Urban Design Brief:

- Describes the existing physical conditions on the Subject Site and the existing neighbourhood context surrounding the Subject Site (Section 2);
- Describes the Proposed Development (Section 4);
- Summarizes the principal City policy and guideline documents applicable to the subject Site and the relevant sections as they relate to the Proposed Development (Section 5); and
- Makes conclusions regarding the findings (Section 6).

1.4 SUPPORTING STUDIES AND MATERIALS

This Urban Design Report has considered the following plans and reports prepared in support of the subject applications:

- Site Plan prepared by Mataj Architects Inc.;
- Floor Plans and Elevations prepared by Mataj Architects Inc.; and
- Landscape Concept Plan prepared by Adesso Design Inc.

2 EXISTING CONDITIONS

2.1 SURROUNDINGS & SITE CONTEXT

The Site is a rectangular shape and is occupied by an existing commercial building located on the south side of the Site. The Site is located, at the intersection of 16th Street East and 16th Avenue East (Owen Sound). The site has a total area of 6,483 m² with a frontage of approximately 222.77m along 16th Avenue East and an approximate depth of 68.57m.

The Site is located adjacent to the Heritage Place Mall site in the downtown of Owen Sound. The surrounding area is mainly composed of commercial and residential properties making the property a prime site for the development of the hotel. The development itself sustains the city's vision of intending *"to maintain a simple and easily understood plan structure based on nodes of intensive commercial, industrial and service activity joined together by an arterial road system."* (8.3.1.2. Final approved official Plan)

2.2 EXISTING SITE CONDITIONS & VEGETATION

There are no existing buildings the phase 1 Site. The Subject Site is an open field, and few landscaping trees exist along the eastern perimeter of the Subject Site.

The Tree Management Plan was prepared by Adesso Design Inc. for Phase 1 of the Proposed Development. A tree inventory of the Subject Site documented 10 trees on and within the property. The site was developed to maintain the *"locations of existing mature trees ...Through the implementation of the Tree Preservation Policy"* (8.2.1.6 Final approved official Plan) as much as possible.



Figure 1. Existing building on Site



Figure 2. Surrounding buildings

2.3 EXISTING LANDSCAPE SOLUTIONS

There are 10 trees and a few shrubs located on the east side of the site near 16th Avenue East. The landscape vision was to maintain as many health vegetation as possible while providing a pleasant entrance to the site.

A tree protection plan was put in place to maintain all health trees on site.

Tree Protection Plan (TPP): Please note that the TPP may change based on the servicing and grading plans once they are receive.

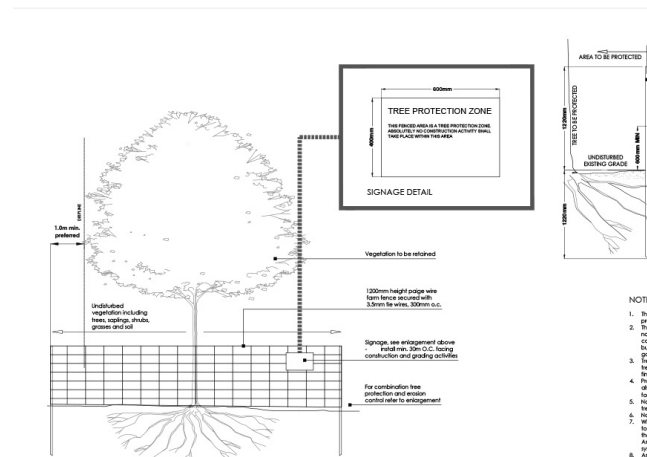


Figure 4. Tree protection Plan

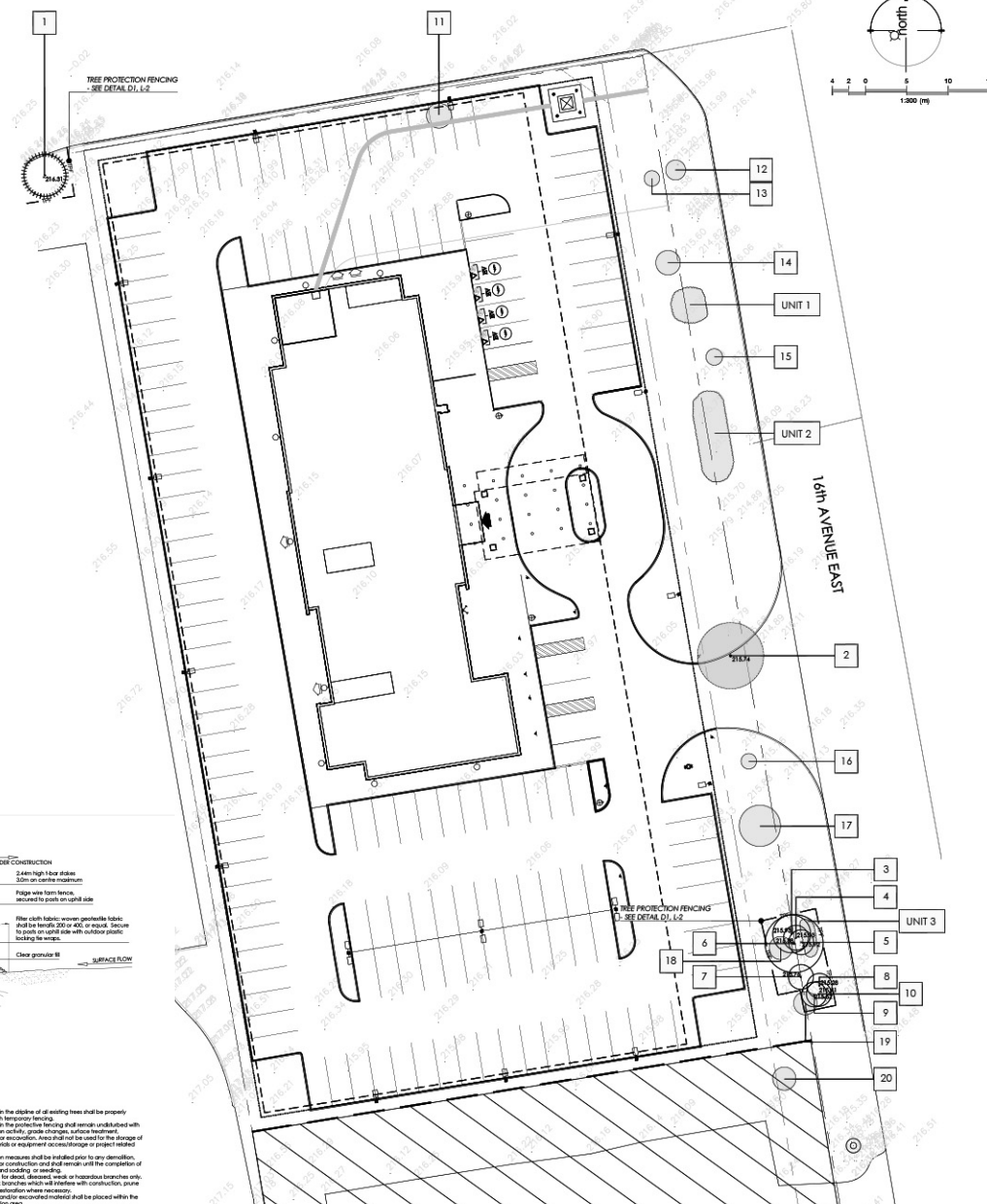


Figure 5. Existing Vegetation plans



3 PUBLIC & PRIVATE REALM

3.1 SITE PLAN & DEVELOPMENT VISION

The proposed development is a 6-storey Long stay Hotel. The hotel houses 120 rooms in total with a Building area of 1157 sm. The Site hosts 152 parking spots, 6 additional spots from the required 146 parking spots by the city of Owen Sound. The proposal fits within the city's overall vision of managing anticipated population growth through redevelopment and intensification of the site. The proposal also adds variation to the proposed Hotel options within the surrounding neighborhood, serving an identified community need for travelers.

The proposal objectives is to optimize the use of the site and better utilize the city's existing infrastructure and resources, provide built form with a strong contemporary presence while respecting surrounding scale/ context and avoid negative impacts to adjacent city developments and expansions.

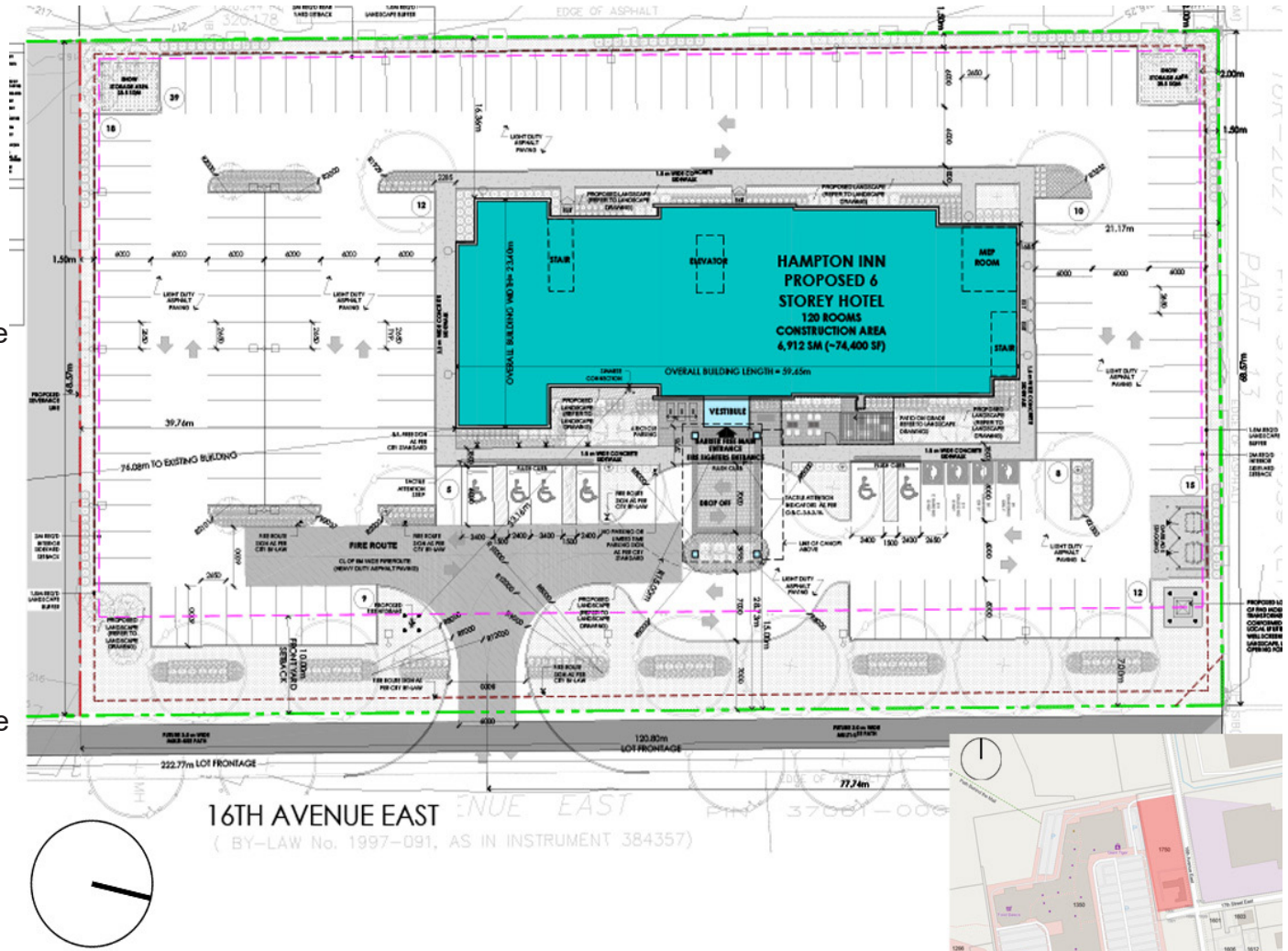


Figure 6. Site Plan

2.2 LINKAGE, CONNECTIONS & CIRCULATIONS

2.2.1 TRANSIT

The site falls directly beside the “CORE” circulation of the Owen Sound Transit plan. with only walking distance to the bus stop, the site itself promotes public transportation

2.1.2 SITE CIRCULATION

The building lays on the center of the site, where is it surrounded by a sidewalk to provide safe pedestrian accessibility, and promote “*safe movement around vehicles, barrier free sidewalks and building entrances and such other measures as may be appropriate.*” (8.4.1.1 Final approved official Plan). There are 6 accessible parking areas “*designed to support accessibility by all citizens in compliance with the Ontario Building Code and AODA.*” (8.4.2.3 Final approved official Plan) near the entrance, 4 EV Parking stations and 6 Bike racks to promote sustainability.

The building itself is in the closest location possible to the front of the site, while maintaining circulation and providing the required 5m road widening clearance requested by the city at 16th Avenue East. A 3m wide multiuse path was provided in the design as per city’s request located at 16th Avenue East to promote cycling and walking in the city. Furthermore, the main entrance to the site is 77.74 m away from the side road intersection 17.74 m more than requested by the city providing a safe entrance to vehicles.

The site was designed to adhere to all city visions while maintaining a safe circulation. Massing of the building and outdoor seating areas where taken into consideration while designing the site. (See 3.1 built form)

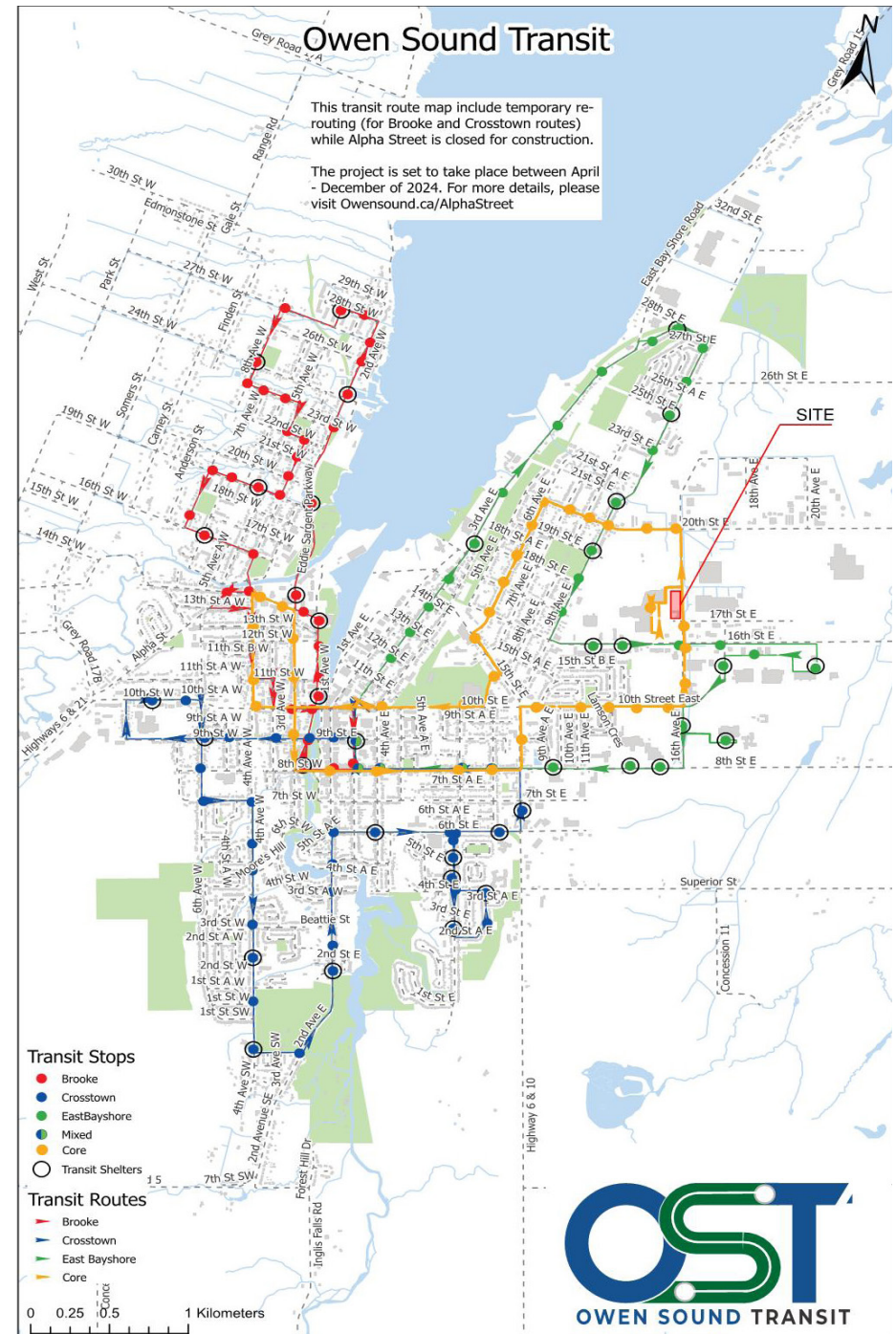


Figure 7. Owen Sound Transportation plans and the Site

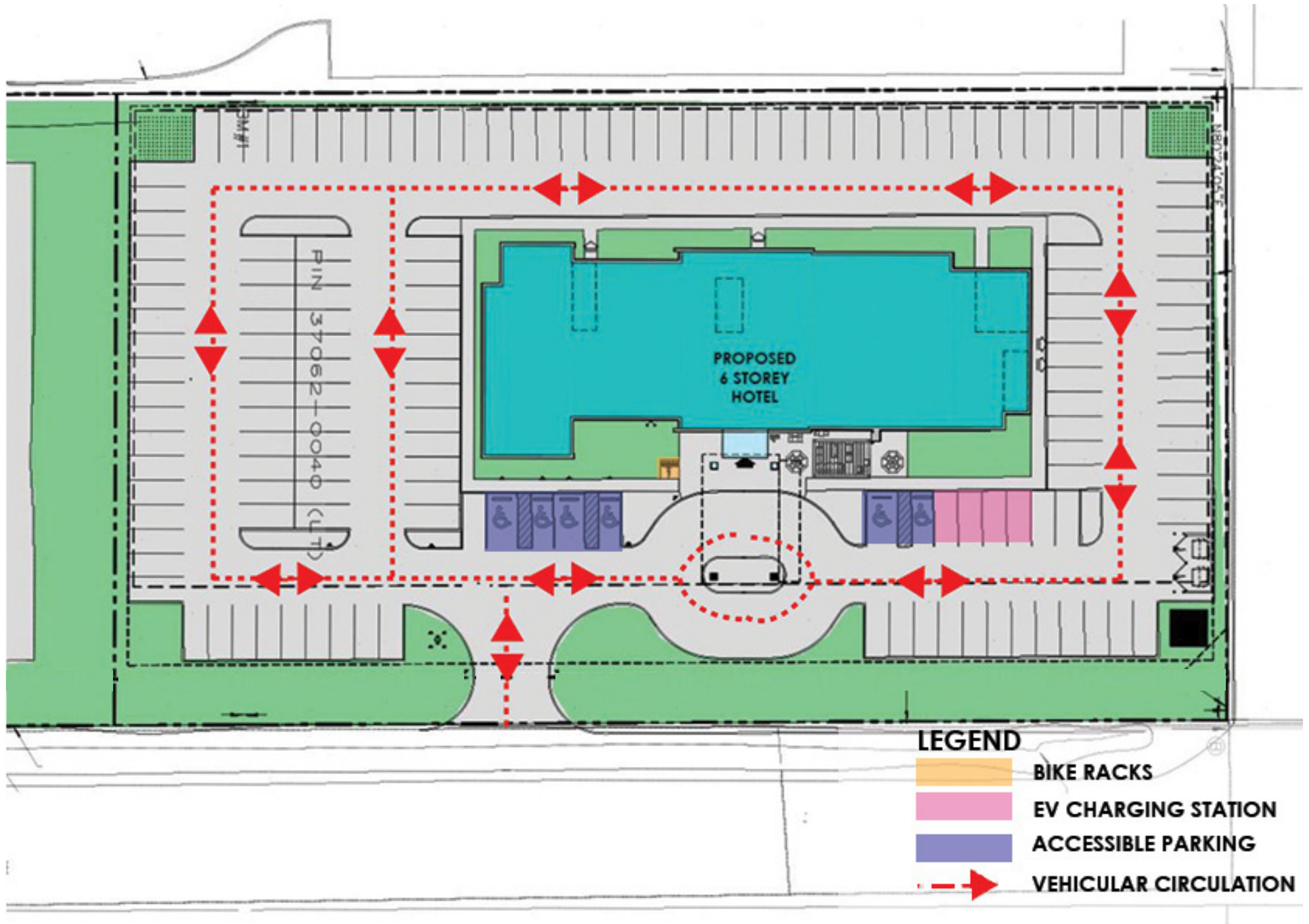


Figure 8. Site plan circulation

2.3 LANDSCAPE PLAN

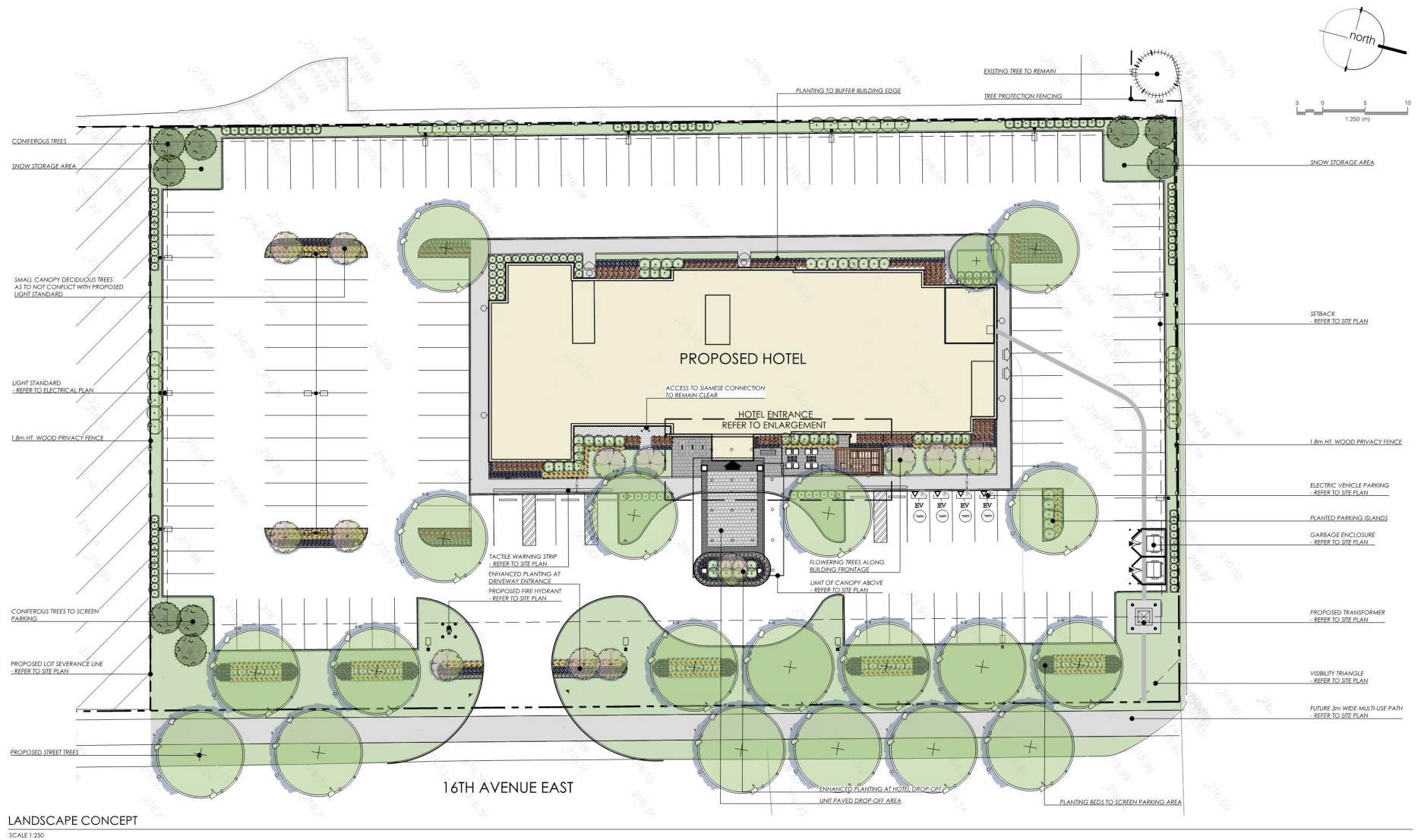
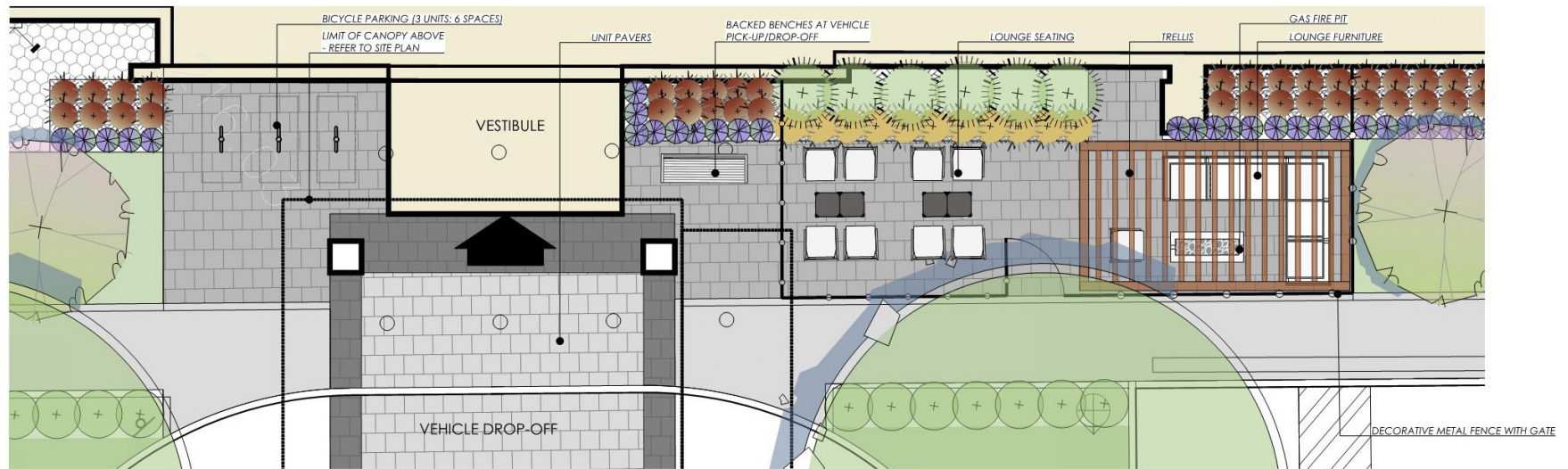


Figure 9. Landscape Plan.



HOTEL ENTRANCE ENLARGEMENT
SCALE 1:75

Figure 10. Landscape Details.

2.3.2 Landscape Vision

The landscape design creates an inviting and unique experience for hotel guests, employees, and visitors through the use of planting, strategic screening, site furniture, and enhanced landscaped amenity areas. It complements the building design while seamlessly integrating the new development into the existing surroundings. Large planting beds along 16th Avenue East feature native shrubs, grasses, perennials, and high-canopy trees. These planting beds enhance the street-scape by providing shade and screening the parking lot, while still allowing select views of the hotel and signage. Native and drought resistant plant species will be prioritized to promote sustainability and resilience, while coniferous trees and shrubs will be incorporated to provide year-round greenery and visual interest. Planting around the building softens its appearance, and fencing discreetly screens neighboring commercial developments and parking areas. The upgraded treatment at the lobby entrance elevates the guest arrival experience, with planting, enhanced unit paving and site furniture framing the hotel's focal point. Adjacent to the lobby entrance is a landscaped amenity area, featuring a unit paved patio, a gas fire feature and lounge seating for guest relaxation. Additional greenery softens hardscapes around the building, while planted parking islands reduce the urban heat island effect and create a pleasant experience throughout the site.

Planting: The proposed design includes enhanced planting around the driveway and building entrance, with emphasis on coniferous trees and shrubs to meet the Owen Sound guideline requiring 50% coniferous species. A plant list will be added at the SPA phase of the design.

Sidewalk: Owen Sound requires sidewalks abutting parking stalls to be 1.8m wide. The plan adjusts the sidewalks around the building to meet this requirement where possible.

Patio Space: The proposed patio is designed as a passive space for guests to relax. It includes lounge seating, a gas fire feature, and a trellis. A decorative metal fence and gate has been proposed to separate the area from the hotel drop-off zone.

3

BUILT FORM

3.1 BUILT FORM PRINCIPLES

3.1.1 Massing & Layout

The proposed development is a 6 storey Long stay Hotel. The hotel's mass is rectangular with some areas more extruded than others, to break down the horizontal feeling, some vertical elements have been added to give it more of an elegant look. The play of light vs heavy materials in the massing also adds some visual relief to the building.

The shadow study of the building indicates that the outdoor seating area is shaded in the afternoon where the sun is at its highest providing a great seating area for the guests to connect with the outdoors.

Exterior lighting has been added to the outdoor facade to insure the safety of the visitors and provide clear sightlines. (8.7.1.3 Final approved official Plan)

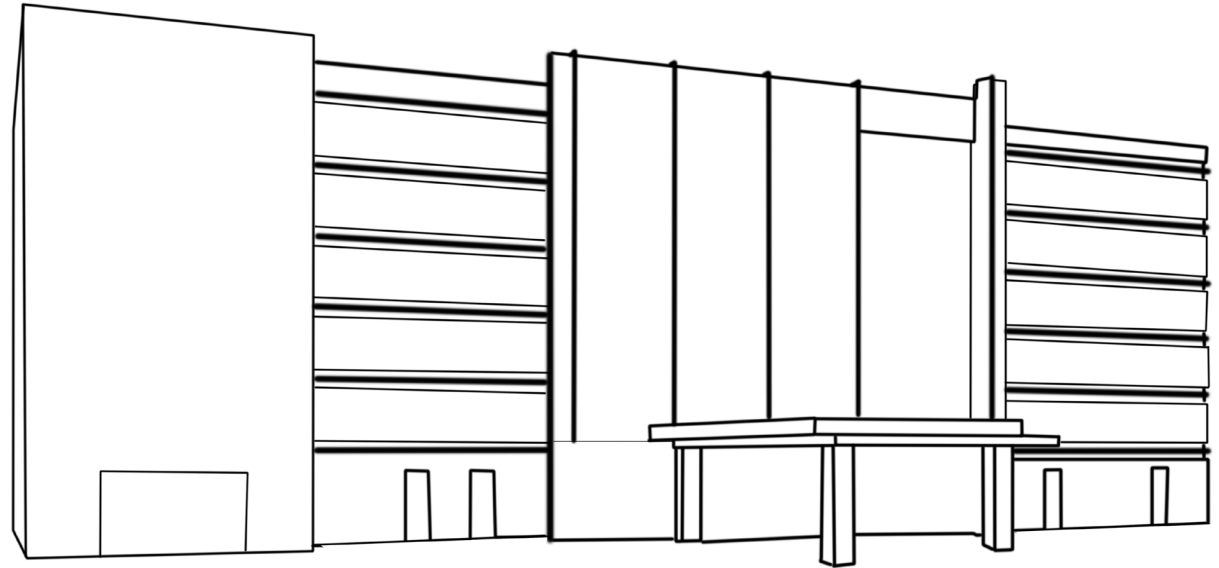


Figure 11. Massing Form

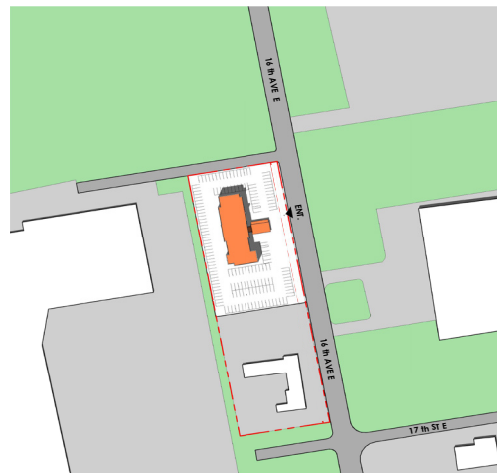


Figure 12. March 21st @ 2pm shadow study

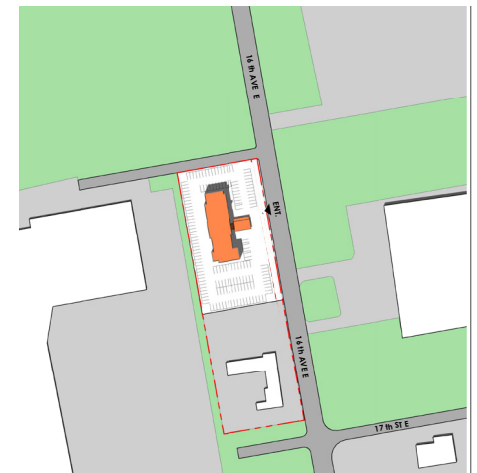


Figure 13. June 21st @ 2pm shadow study

3.1.2 PLAN LAYOUT

The typical floor consists mostly of guestrooms with three rooms for the B.O.H. Emergency exits have been provided as per OBC code. Accessible rooms have been provided as required by code.



3.1.3 ARCHITECTURAL STYLE & MATERIALS

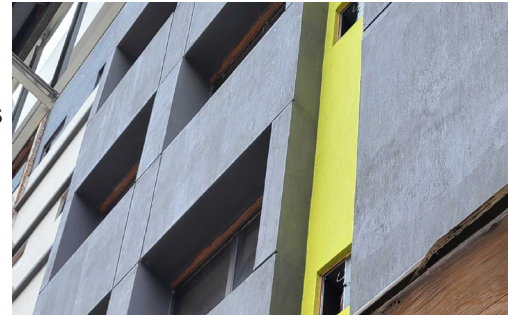
Our approach to the exterior design is to achieve a fresh contemporary and balanced building that will be a Landmark in the area. The proposal is inspired by contemporary style with clean lines and a neutral color scheme blended with accents of natural materials.

The designed hotel is proposed to play with different colors of EIFS at different areas in the elevation. The use of lighting in the elevation brings out the design even further to create a timeless and visually pleasant building.

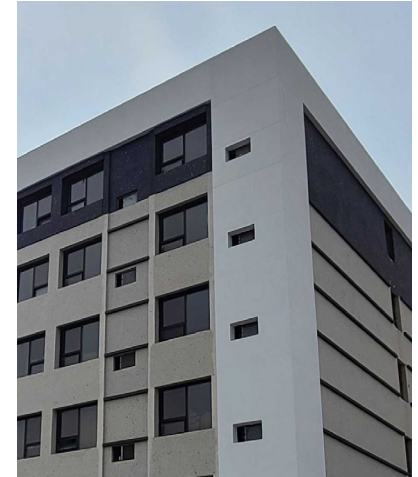
The building design utilizes a limited palette of materials and colors for overall cohesiveness. Change in materials help to break up the massing and uniformity of the adjoining units while also creating a visual rhythm to the façade. The exterior building finished will be in keeping with the Urban fabric of the town of Hamilton while maintaining a timeless look.



Wood ACM panels



EIFS Charcoal and Green



EIFS White

Figure 17. Sample Material



Project name:ConneXion



Project name:Dwell City Towns



Project name:Downtown brambleton

Figure 18. Conceptual Design Inspiration of Contemporary buildings

3.1 ELEVATION DRAWINGS & PERSPECTIVE RENDER



Figure 19. South Elevation



Figure 20. North Elevation



Figure 21. East Elevation

3.1 ELEVATION DRAWINGS & PERSPECTIVE RENDERS



Figure 23. Perspective Renders

4 SUSTAINABILITY PRINCIPLES

STORMWATER

Stormwater management is proposed in accordance with bylaw and authority requirements.

LIGHTING

Exterior lighting shall be designed for safety and comfort to reduce light pollution - Dark sky compliance.

ENERGY EFFICIENCY

Further development of building drawings will include energy efficient systems, fixtures, and building envelope in accordance with OBC (to be finalized at detailed design stage).

MOBILITY

This proposal provides safe and accessible connections to the existing municipal road network that support cycling and walking which encourages a healthy lifestyle.

BIRD FRIENDLY DESIGN

Building shall be designed to create visual markers on glazing facades in combination with non-reflective glass to prevent bird collisions.

NATURAL ENVIRONMENT AND OPEN SPACE

Preservation and enhancement of adjacent natural features and their associated buffers. Building orientation and setbacks to provide strong relation to natural settings.

WHITE ROOFS

It is our intent to utilize roofing materials which have a high Solar Reflectance Index (SRI) to reduce the Urban Heat Island effect.



Figure 24. Examples of sustainable measures

5 IMPLEMENTATION

This Urban Design Brief has been prepared to provide the urban design principles and objectives that support the proposed development. In addition to the requirements outlined in this brief, the proposal is also subject to the provisions of the “City of Owen Sound - Final approved official Plan”



Figure 25. Rendering View 1



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