

## **SCHEDULE G**

---

### **STAFF & AGENCY COMMENTS**

- 1) Owen Sound Fire Department – December 23, 2024
- 2) County of Grey – January 7, 2025
- 3) Grey Sauble Conservation Authority – January 8, 2025
- 4) Historic Saugeen Metis – January 8, 2025
- 5) Engineering Services Division – January 28, 2025

# Staff Report

## Fire Prevention

---

**DATE:** December 23, 2024

**TO:** Sabine Robart, Manager of Planning & Heritage

**FROM:** Matt Given, Fire Prevention Officer

**SUBJECT:** PRE-APPLICATION FIRE PREVENTION REVIEW

---

**PLANNING FILE:** ZBA 54

**MUNICIPAL ADDRESS:** 1750 16th Ave E

**APPLICANT:** 16 Avenue OS Inc (Ibrahim Dossani) through Ron Davidson

**BACKGROUND:** The purpose of the application is to permit the construction of a 120-room, six-storey hotel on the northern portion of the property.

**ASSUMPTIONS:** The recommendations below are based on the following assumptions:

- The comments are from the site drawings included in the email dated December 17<sup>th</sup> , 2024 from Sabine Robart, Manager of Planning & Heritage.

**DETAILED REVIEW:** Documents reviewed in conjunction with this application are:

- Ontario Building Code (OBC)
- City of Owen Sound Fire Route By-Law 2009-086
- Ontario Fire Code (OFC)

**REQUIREMENTS:**

- 1) The site plan does not show the location of the fire route signage. The following will be required to achieve compliance with the Ontario Building Code and other referenced documents:
  - a. The drawings do not show the location of the fire route signage required as per City of Owen Sound Fire Route By-Law 2009-086
  - b. The drawing does not clearly show the design (radius) and location of the required fire routes on the property as required in Article 3.2.5.6 of Div. B. OBC
  - c. No fire hydrants are shown on the drawing. The buildings may be equipped with sprinklers and the residential 6 storey buildings will require standpipes. Hydrants shall be installed as per Subsection 3.2.5. of Div. B. of the OBC.
- 2) The following should be considered by the proponent as they finalize their plans to enhance the fire prevention at the site:
  - a. Ensure that the keys in the Chubb box on site are correct.
  - b. Where required, fire department connections should be located as close as possible to the entrance to be used by responding fire fighters. The fire department connection for a sprinkler and standpipe system shall be located so that the distance from the fire department connection to a hydrant is not more than 45 m and is unobstructed.
  - c. The fire department would like input on the locations of the fire hydrants planned for the site.

**Submitted by:** Matt Given, Fire Prevention Officer \_\_\_\_\_

## Allison Penner

---

**From:** planning@grey.ca  
**Sent:** Tuesday, January 7, 2025 9:26 AM  
**To:** Briana Bloomfield; Desiree van Dijk; OS Planning; Staci Landry; Allison Penner  
**Subject:** County comments for ZBA 54 Hampton Inn

**External sender** <planning@grey.ca>

Make sure you trust this sender before taking any actions.

### County comments for ZBA 54 Hampton Inn



Hello Owen Sound,

Please see below for the County comments for Zoning application  
ZBA 54 Hampton Inn - 16 Avenue OS Inc (Ibrahim Dossani).

County Planning staff have reviewed the subject application.  
Provided our comments relating to Pre-Consultation application  
PC2024-005 have been addressed; County Planning staff have no  
concerns.

County Planning Ecology staff have reviewed the subject  
application and have no concerns.

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Derek McMurdie

County of Grey, Owen Sound, ON

January 8, 2025  
**GSCA File: P24456**

Sabine Robart, Manager of Planning & Heritage  
City of Owen Sound  
808 2<sup>nd</sup> Ave E  
Owen Sound, ON  
N4K 2H4

Sent via email: [planning@owensound.ca](mailto:planning@owensound.ca)

**Re: Application for ZBA NO54(Zoning)**  
**Address: 1750 16<sup>th</sup> Ave. East**  
**Roll No: 425901000622502**  
**City of Owen Sound**  
**Applicant: Ron Davidson**

Grey Sauble Conservation Authority (GSCA) has reviewed the subject applications in accordance with our mandate and policies for Natural Hazards and relative to our policies for the implementation of Ontario Regulation 41/24. We offer the following comments.

### **Subject Proposal**

The application is to permit the construction of a 120 room, six storey hotel on the northern portion of the property. The existing buildings and uses on the southern portion of the property are to remain at this time. It is anticipated that the property will be subject to a future consent application.

The effect of the application is to amend the current zone category applying to the subject lands (M1 General industrial ) to a Retail commercial zone to recognise the new Hotel use and the existing retail uses.

### **Site Description**

The site is east of the heritage place mall. The north portion of the site is currently vacant. The south portion of the site contains an automotive repair shop and warehouse with accessory retail sales (Bread Depot).

### **Conservation Authority Regulations**

The subject property is not within the regulated area under Ontario Regulation 41/24: Prohibited Activities, Exemptions and Permits regulation.

Under this regulation a permit is required from this office prior to the construction, reconstruction, erection or placing of a building or structure of any kind; any change to a building or structure that would have the effect of altering the use or potential use of the building or structures, increasing the size of the building or structure, or increasing the number of dwelling units in the building or

---

### **Member Municipalities**

Municipality of Arran-Elderslie, Town of the Blue Mountains, Township of Chatsworth, Township of Georgian Bluffs, Municipality of Grey Highlands, Municipality of Meaford, City of Owen Sound, Town of South Bruce Peninsula

structure; site grading; or, the temporary or permanent placing, dumping or removal of any material originating on the site or elsewhere, if occurring within the regulated area. Also, a permit is required for interference with a wetland, and/or the straightening, changing, diverting or in any way interfering with an existing channel of a river, lake, creek stream or watercourse.

Based on this a permit is not required for the work related to the construction of a new hotel. A regulation map has been attached for reference.

## **Provincial Planning Statement 2024**

The Provincial Planning Statement as outlined below generally directs development to areas outside of Hazard lands that are adjacent to rivers, streams and small inland lake systems.

### *Chapter 5: Protecting Public Health and Safety*

#### *5.1 General Policies for Natural and Human-Made Hazards*

*1. Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health or safety or of property damage, and not create new or aggravate existing hazards.*

#### *5.2 Natural Hazards*

*1. Planning authorities shall, in collaboration with conservation authorities where they exist, identify hazardous lands and hazardous sites and manage development in these areas, in accordance with provincial guidance.*

*2. Development shall generally be directed to areas outside of:*

- a) hazardous lands adjacent to the shorelines of the Great Lakes - St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;*
- b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and*
- c) hazardous sites.*

*3. Development and site alteration shall not be permitted within:*

- a) the dynamic beach hazard;*
- b) defined portions of the flooding hazard along connecting channels (the St. Marys, St. Clair, Detroit, Niagara and St. Lawrence Rivers);*
- c) areas that would be rendered inaccessible to people and vehicles during times of flooding hazards, erosion hazards and/or dynamic beach hazards, unless it has been demonstrated that the site has safe access appropriate for the nature of the development and the natural hazard; and*
- d) a floodway regardless of whether the area of inundation contains high points of land not subject to flooding.*

Comment: The site does not contain any direct hazard areas and the GSCA does not have any concern with development on the property. The outlet for stormwater and any other offsite improvements that may be required, will be addressed through the City's Engineering department as part of their review. The GSCA has no further concerns.

## **Saugeen, Grey Sauble, Northern Bruce Peninsula Source Protection Plan**

The subject property is not located within an area that is subject to the Source Protection Plan.

## Recommendations

That the Zoning Application for a 120 room Hotel be approved.

Regards,

A handwritten signature in black ink that reads "Clinton Stredwick". The signature is written in a cursive, flowing style.

Clinton Stredwick, BES MCIP RPP  
Environmental Planner

Cc via email:

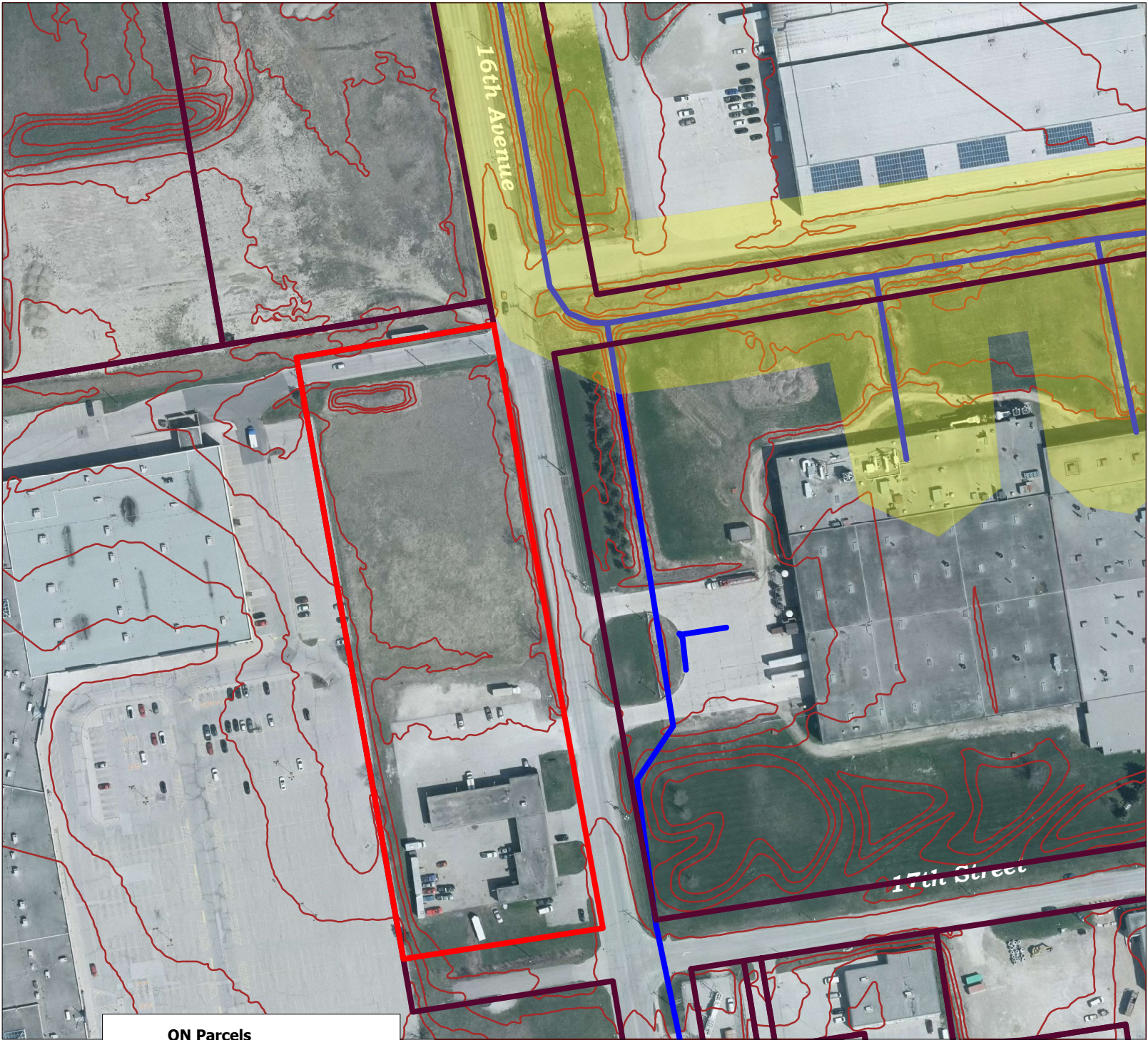
Scott Greig  
Jon Farmer

Encl.


1. Reg map




GSCA: Ontario Regulation 41/24: Prohibited Activities, Exemptions and Permits.




**ON Parcels**

 Existing Lots


**Regulation 41/24**

 Regulated Area


**Streams/Flow**

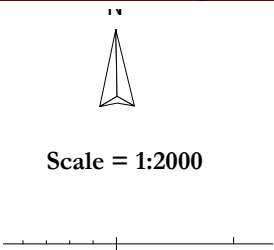
 Water course

**LIDAR Contours 50cm - NW**

 Contour Lines

**Hazard Areas**

 Hazard areas



Regulation Map  
Roll Number: 42-59-010-006-225-02  
City of Owen Sound,  
GSCA File#24456

January 8, 2025

The included mapping has been compiled from the information contained within the map Model Versions 1 & 2 & 1:10000 scale mapping.

By accepting this map you agree not to edit the map or disclaimer without the exclusive written permission of Grey Stubble Conservation. You also acknowledge that the information on this map is relevant only to the subject property and may be subject to change.

Produced by GSC with Data supplied under License by Member of Ontario Geospatial Data Exchange  
© Queen's Printer for Ontario and its licensors, (2016) May Not be Reproduced without Permission. THIS IS NOT A PLAN OF SURVEY

This mapping contains products of the South Western Ontario Orthophotography Project (SWOOP). These images were taken in 2013 at 20cm resolution. They are the property of Grey Stubble Conservation © 2018.



**From:** [hsmrcc](#)  
**To:** [OS Planning](#)  
**Subject:** Re: Request for Comments - City of Owen Sound (Dossani c/o Davidson) - Proposed Zoning By-law Amendment  
**Date:** January 8, 2025 4:02:38 PM  
**Attachments:** [PastedGraphic-5.png](#)

---

**Warning: Unusual sender** <hsmrcc@bmts.com>

You don't usually receive emails from this address. Make sure you trust this sender before taking any actions.

## City of Owen Sound

### **Re: File number ZBA 54**

The Historic Saugeen Métis (HSM) Lands, Waters and Consultation Department appreciates the opportunity to review this matter. HSM supports development that meets the needs of the present without compromising the ability of future generations to meet their needs. The proposed plans contain some great environmental considerations such as the prioritization of native species and the inclusion of electric vehicle charging station. HSM encourages the consideration of the following feedback, to further improve the sustainability of this project.

1. HSM encourages the implementation of Low Impact Design (LID) solutions for stormwater management, as supported by the City of Owen Sound Official Plan section 5.2.4.3. It is unclear from the documents provided whether plans are in place to do so. HSM encourages the applicant to go beyond the regulated requirements and implement LID solutions to mitigate the environmental impacts of paving and building on existing green space.
2. The proposed plans show a very small portion of green space relative to the site area that will be built on or paved over. To ensure the sustainable development of our cities, efforts must be made wherever possible to integrate green space with development. HSM recommends adjusting the plans (for example, by removing the extra parking spots proposed) to increase the green space on the property. Even small areas can have significant environmental benefits if diverse native species are planted. A pollinator garden or Miyawaki forests (which can be planted in areas as small as 3 meters squared) could be suitable.
3. In the Urban Design Brief, section 2.3 - Existing Landscape Solutions, it is stated that on the site "there are 10 trees and a few shrubs... The landscape vision was to maintain as many health vegetation as possible while providing a pleasant entrance to the site. A tree protection plan was put in place to maintain all health trees on site." However, this stated intent is not reflected in the "Tree Protection Plan" which recommends the removal of 9 of the 10 trees despite the fact that eight of the trees are reported to be in fair condition and one is reported to be in good condition. HSM does not support the removal of these trees, in particular Tree #2 which is reported to be in good condition and is the largest of the trees on site.

While the plans to plant new trees on the site are appreciated, the size and age of trees plays an important role in their ability to intercept pollutants and sequester atmospheric carbon. Therefore, planting new trees does not negate the impacts of removing existing trees. As stated in the City of Toronto's aptly named report, *Every Tree Counts - A Portrait of Toronto's Urban Forest*, the "historic undervaluation of forests and trees in economic decision-making has made them more vulnerable to development and conversion to other uses. This has led to a widespread decline in green space and tree cover across most North American municipalities." The report also speaks

to the importance of maintaining mid and large-sized trees as healthy, long-lived trees provide the greatest environmental and economic benefits.

Thank you for considering HSM's input.

Regards,

Neala

Neala MacLeod Farley  
Coordinator, Lands, Waters & Consultation

Historic Saugeen Métis  
204 High Street  
Southampton, ON  
[saugeenmetis.com](http://saugeenmetis.com)  
519-483-4000



*This message is intended for the addressees only. It may contain confidential or privileged information. No rights to privilege have been waived. Any copying, retransmittal, taking of action in reliance on, or other use of the information in this communication by persons other than the intended recipients(s) is prohibited. If you have received this message in error, please reply to the sender by e-mail and delete or destroy all copies of this message.*

On Dec 18, 2024, at 10:47 AM, Sabine Robart <[srobart@owensound.ca](mailto:srobart@owensound.ca)> wrote:

Good Morning,

Attached, please find a Request for Comment on a Zoning By-law Amendment application proposing a re-zoning to permit the construction of a 120-room, six-storey hotel on the northern portion of the property. The existing buildings and uses on the southern portion of the property are to remain at this time. It is anticipated that the property will be subject to a future consent (severance) application.

Supporting submission materials are available at: [Active Planning Applications | City of Owen Sound](#) ZBA 54 (Hampton Inn) – 1750 16<sup>th</sup> Avenue East.

Please provide comments by **January 08, 2024**, to [planning@owensound.ca](mailto:planning@owensound.ca).

Thank you,

Sabine Robart, RPP, MCIP (she/her)  
Manager of Planning & Heritage  
Community Services Department

City of Owen Sound  
808 2<sup>nd</sup> Ave East, Owen Sound, ON N4K 2H4  
519-376-4440 ext. 1236  
[srobart@owensound.ca](mailto:srobart@owensound.ca)  
[www.owensound.ca](http://www.owensound.ca)  
<image001.png>

<Request\_ZBA54 Hampton Inn.pdf>

# Staff Report

Engineering Services Division

**DATE:** 2025 February 21

**ENG. FILE:** 1750 16<sup>th</sup> Avenue East

425901000622502

**TO:** Sabine Robart, Manager of Planning & Heritage  
Pam Coulter, Director of Community Services  
Lara Widdifield, Director of Public Works & Engineering

**FROM:** Matthew Pierog, Engineering Technologist

**SUBJECT:** ZONING BY-LAW AMENDMENT ENGINEERING REVIEW

**Applicant:** 16 Avenue OS Inc (Ibrahim Dossani), through Ron Davidson

**PLANNING FILES:** ZBA No. 54

**LEGAL DESCRIPTION:** RANGE 6 EGR PT LOT 5 RP; 16R327 PART 1

**RECOMMENDATIONS:**

Further to our review of the above-noted application, the Public Works & Engineering Department has no objection to this Zoning By-law Amendment application, however, comments and recommendations are included below, which are to be addressed at the time of the Site Plan Approval Application, unless otherwise noted:

**BACKGROUND:**

The applicant, 16 Avenue OS Inc (Ibrahim Dossani) through Ron Davidson, has submitted an application for a Zoning By-law Amendment to the City's Zoning By-law 2010-078, as amended for 1750 16<sup>th</sup> Avenue East.

The purpose of the application is to permit the construction of a 120-room, six-storey hotel on the northern portion of the property. The existing buildings and uses on the southern portion of the property are to remain at this time. It is anticipated that the property will be subject to a future consent (severance) application.

The effect of the application is to amend the current zone categories applying to the subject lands consistent with the East City Commercial designation of the City's Official Plan generally in accordance with the following:

<b>Current Zone</b>	<b>Proposed Zone (North – Hotel)</b>	<b>Proposed Zone (South – Existing Commercial)</b>
General Industrial (M1)	Retail Commercial with Special Provision 14.141 (C214.141)	Retail Commercial Holding (C2-H)

The special provisions for the northern portion (hotel) propose to establish site-specific zone regulations regarding building height, among other matters.

The Holding provisions on the southern portion will require the completion of a retail market analysis, in accordance with Section 3.5.2.5 of the Official Plan, to the satisfaction of the City of Owen Sound prior to the establishment of any retail or commercial use that is less than 465 square metres and greater than 1,400 square metres.

#### **ANALYSIS:**

This document incorporates comments from all Public Works & Engineering Department divisions. The Comments provided herein were based on the City's most recent Engineering Standards and the records available at the time of preparation of this report. The comments provided to not preclude the applicant's responsibility for meeting all applicable laws, regulations and standards, or provide any assurances.

The following comments reflect the results of this review:

**DETAILED REVIEW:** Documents reviewed in conjunction with this application are:

- *City of Owen Sound Site Development Engineering Standards, 1<sup>st</sup> Edition* [https://www.owensound.ca/media/pw0gywsg/site-plan-eng-standards\\_full-2021-03-24-rev.pdf](https://www.owensound.ca/media/pw0gywsg/site-plan-eng-standards_full-2021-03-24-rev.pdf)
- *City of Owen Sound Official Plan, as amended* <https://www.owensound.ca/media/sqkldpco/final-approved-official-plan-feb-15-2022.pdf>
- *Stormwater Management Planning and Design Manual, March 2003; Province of Ontario Ministry of the Environment – published by: Queen's Printer for Ontario* <https://www.ontario.ca/document/stormwater-management-planning-and-design-manual-0>

- *Accessibility for Ontarians with Disabilities Act (AODA), 2005, S.O. 2005 c.11 <https://www.ontario.ca/laws/statute/05a11>*
- *Reference Drawings submitted as part of the application: MTE Consultants Inc., drawing No's.: C.1.1, C2.1, and C2.2, dated November 5, 2024;*
- *Report titled '1750 16<sup>th</sup> Avenue East, Owen Sound – Transportation Impact Study', dated November, 2024, prepared by Paradigm Transportation Solutions Limited; and,*
- *Report titled 'Owen Sound Hampton Inn – Servicing Feasibility Report' dated November 5, 2024, prepared by MTE Consultants Inc.*

### **STORMWATER MANAGEMENT (SWM):**

The stormwater management report and design have not been submitted for review as a part of the ZBA application, however, will be required at the time of the Site Plan Approval Application.

The City will not provide maintenance or repair operations on any portion of the SWM system located on private property.

### **GRADING & DRAINAGE:**

A functional grading and drainage plan has been submitted for review as part of the ZBA application. The plan appears to incorporate the City's Site Development Engineering Standards and is approved for the purposes of the ZBA application.

The standard maintenance notes included in Section 2.41 of the City's Site Development Engineering Standards are to be included on the revised grading and drainage drawings.

The site grading and drainage is required to conform to Section 2.2.2 of the City's Property Standards By-law 1999-030.

### **SITE SERVICING:**

A Functional Servicing Plan (MTE, 2024) has been submitted as a part of the ZBA application. It should be noted that the proposed location of the wastewater connection to the City's main is within a wastewater pipe known to be in poor condition – it may be problematic during construction to connect to a competent pipe, and it is recommended to connect to an existing maintenance structure.

However, the wastewater sewer on 16<sup>th</sup> Avenue East, from 17<sup>th</sup> Street East to 20<sup>th</sup> Street East, has been identified by the City as an urgent priority for replacement, and the City plans to retain a consultant in the near future to



initiate the replacement of the wastewater sewer main. The City recommends that the servicing plan for the site (wastewater connection) be revisited at the time of the Site Plan Approval Application, once further details are resolved (i.e. connection to an existing maintenance structure if replacement of the main is not completed in a timely manner).

SERVICING FEASIBILITY STUDY (SFS):

A Servicing Feasibility Report (MTE, 2024) has been submitted for review as part of the ZBA application. This Study is **required** to demonstrate the appropriate service capacity of the City infrastructure to support the proposed development.

The Servicing Feasibility Report (MTE, 2024) indicated the following:

- *The proposed grading design will respect the natural topography of the site to achieve a reasonable cut/fill balance where possible;*
- *Existing municipal infrastructure for water, sanitary and storm is available along 16<sup>th</sup> Avenue East; and,*
- *Additional grading, servicing and stormwater management details will be provided during detailed design.*

A fire hydrant flow test was completed as a part of the Servicing Feasibility Report (MTE, 2024), and based on the results of the flow test, it appears that there is adequate water capacity in the City's municipal watermain to support the proposed development at the Site.

A sanitary design sheet located in Appendix B (MTE, 2024) was provided for review, and included details to determine the additional loading on the existing wastewater sewer main located within the road allowance (existing 350 mm Ø), however, there was **not** an analysis completed to confirm **available** capacity in the City's wastewater infrastructure.

The Servicing Feasibility Study is to be revised during the Site Plan Approval Application to include the additional servicing and stormwater management details, as indicated above, and provide recommendations for any off-site improvements required to ensure adequate municipal services for the proposed development.

The ESD has reviewed our current draft sanitary sewer model including the additional 2.04 L/s for wastewater flow (as per the SFS) determined for the site. Based on a review of the updated model, it appears that there is available capacity in the wastewater collection system during dry weather flow to permit the development, however, during wet weather flow conditions (25-year storm performance indicator), there are downstream capacity issues within the collection system (pipe surcharging, contained within the structures). It should be noted that the City's draft wet weather flow model has limited flow monitoring data points for inflow & infiltration (I&I) in this area of the City.

Additionally, the City's wastewater model is a tool used by the City, and the results are not definitive of actual conditions, but rather a gauge for system performance under various criteria. The City has committed to the following items in order to permit this development:

- Replacement of wastewater sewer main along 16<sup>th</sup> Avenue East, 17<sup>th</sup> Street East to 20<sup>th</sup> Street East, as a City led Capital Project;
- As a part of the Capital Project, the City's consultant will complete an independent analysis for the wastewater catchment area (upstream/downstream) to provide recommendations for any needed upgrading (including pipe sizing on 16<sup>th</sup> Avenue East);
- The Developer is to provide a contribution of \$15,000.00 to the City for additional monitoring services in relation to the model, to better refine the wet weather wastewater model in this area of the City.
  - o The City will review the additional flow monitoring data to be collected in the future, as applicable to the proposed development.

Additionally, based on the 2023 Performance Report – Owen Sound Wastewater Treatment Plant, the Average Daily Flow for 2023 was 12,744 m<sup>3</sup>/day, 52% of the plant's capacity of 24,545 m<sup>3</sup>/day, and it appears that there is availability capacity at the wastewater treatment plant for this development. However, the City will continue to address the effect on I&I due to storm water on the sanitary sewer collection system and WWTP by identifying opportunities to reduce these extraneous flows.

The Servicing Feasibility Report is acceptable for the purposes of the ZBA application, however, may require revisions as a part of the Site Plan Approval Application.

#### **SITE ACCESS:**

Vehicular access to the site is from 16<sup>th</sup> Avenue East, on the east side of the site. The proposed access to the Site appears to meet the City's minimum throat width (bi-directional access) for a driveway entrance to the Site.

A Traffic Impact Study (Paradigm, 2024) was submitted as a part of the ZBA application. Based on the report provided, the consultant indicated:

- *Existing Traffic Conditions: The study area intersections are operating with acceptable levels of service.*
- *Development Trip Generation: The development is forecast to generate 55 and 71 trips during the AM and PM peak hours, respectively.*
- *Background Traffic Conditions: The study area intersections are forecast to operate with acceptable levels of service.*

- *Total Traffic Conditions: The study area intersections are forecast to operate with acceptable levels of service.*
- *Auxiliary Left-Turn Lane: A northbound left-turn lane is not warranted on 16<sup>th</sup> Avenue East at the proposed site access under forecast total traffic conditions.*
- *Transportation Plan: The development is consistent with the City's Transportation Master Plan, Trails Master Plan, Official Plan, and AODA, including provision of bicycle parking, sidewalks, barrier free parking spaces and barrier free access on-site, and the preparation of a TIS to identify impacts to the surrounding road network.*

The Transportation Report is acceptable for the purposes of the ZBA application.

Additionally, based on the provided drawings, there does not appear to be a 5.0 m widening fronting 16<sup>th</sup> Street East that was requested during the pre-consultation application (2024-005), and the location of the proposed 3.0 m multi-use path will need to be revised to be within the requested road widening (further west). The City's roadway cross-section for 16<sup>th</sup> Avenue East fronting the development is to be urbanized and include a 3.0 m MUP and curb & gutter. Additionally, based on the depth of storm servicing and future road widenings, it is unlikely that ditching will be a feasible cross-section for this roadway.

#### **FEES AND CHARGES:**

The Developer will be required to pay the applicable Development Charges, in accordance with By-law No. 2023-106, as amended. Additionally, the Engineering Review Fee will be \$383.00 for a Zoning By-law Amendment.

**Prepared By:** Matthew Pierog, P.Eng.

**Reviewed By:** Chris Webb, P.Eng.

The image shows two handwritten signatures in black ink. The top signature is for Matthew Pierog, P.Eng., and the bottom signature is for Chris Webb, P.Eng. Both signatures are stylized and cursive.